

Chaires Fire Station Addition

for
Leon County
Chaires, FL

CONSTRUCTION DOCUMENTS



Leon County - Chaires
Fire Station Addition

11000 Drawn By: JH2
Project Code Checked By: RRB

14 April 2011
Date

Construction
Documents

Revisions
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Cover Sheet

Tallahassee Florida

CS-1

225 South Adams St, Tallahassee, FL 32301
Phone 850 224-6301 Fax 850 561-6978

GENERAL LEGEND

	BUILDING SECTION SECTION NUMBER SHEET NUMBER		PLAN OR SECTION NUMBER SHEET NUMBER
	WALL OR SECTION NUMBER SHEET NUMBER		INTERIOR ELEVATION NUMBER SHEET NUMBER
	PLAN/SECTION/ DETAIL NUMBER SHEET NUMBER		COLUMN LETTER OR NUMBER
	DOOR MARK REFER TO ROOM NUMBER		PROPERTY LINE
	WINDOW TYPE REFER TO SHEET		HIDDEN LINE (BEYOND)
	PARTITION TYPE REFER TO SHEET		OVERHANG OR SOFFIT LINE (ABOVE)
	ROOM NAME AND NUMBER		MATCH LINE
	ELEVATION HEIGHT		BREAK LINE
	SPOT ELEVATION		WOOD-CONTINUOUS NON-CONTINUOUS
	NORTH ARROW		INFILL CONSTRUCTION CMU INFILL
	EARTH/COMPACTED FILL		GRAVEL
	CONCRETE		P.I.P. CONC.
	INFILL CONSTRUCTION		FINISH WOOD
	MORTAR/PLASTER STUCCO		BATT INSULATION
	NEW STEEL/ MISC. METAL		RIGID INSULATION
	EXIST. STEEL/ MISC. METAL		BLOCK
			SAND/CEMENT MIX

SITE LOCATION MAP



ABBREVIATIONS

A.C.	AIR CONDITIONED	M.	MOTOR
ACP.	ACOUSTICAL PANEL	MAINT.	MAINTENANCE
A.C.T.	ACOUSTICAL TILE	MAX.	MAXIMUM
A.F.F.	ABOVE FINISH FLOOR	M.D.P.	MAIN DISTRIBUTION PANEL
A.H.U.	AIR HANDLING UNIT	MECH.	MECHANICAL
AJ.	ACOUSTICAL JOINT	MTL.	METAL
ALT.	ALTERNATE	MIN.	MINIMUM
ALUM.	ALUMINUM	MISC.	MISCELLANEOUS
AMP.	AMPERES	MO.	MASONRY OPENING
AN.	ANODEZED	MOD.BT.	MODIFIED BITUMEN
APPROX.	APPROXIMATELY	MR.	MOISTURE RESISTANT
ARCH.	ARCHITECTURAL	M.T.	METAL THRESHOLD
B.	BOTTOM	MTD.	MOUNTED
BD.	BOARD	MTG.	MOUNTING
BLDG.	BUILDING	N.	NORTH
BLK.	BLOCK	N.A.	NOT APPLICABLE
BM.	BEAM	N.I.C.	NOT IN CONTRACT
BAL.	BALANCE	NO.	NUMBER
BRG.	BEARING	NTS.	NOT TO SCALE
B.T.U.M.	BRITISH THERMAL UNIT/HOUR	O.C.	ON CENTER
C.	CONDUIT	O.C.E.W.	ON CENTER EACH WAY
CAB.	CABINET	O.D.	OUTSIDE DIAMETER
CAP.	CAPACITY	O.H.	OVERHEAD
CB.	CIRCUIT BREAKER	OPNG.	OPENING
C.D.	CEILING DIFFUSER	OPP.	OPPOSITE
Q.	CENTER LINE	P. LAM.	PLASTIC LAMINATE
CER.	CERAMIC	PART.	PARTITION
C.F.M.	CUBIC FEET/MINUTE	PC.	PRECAST CONCRETE
CIRC.	CIRCULATING	PER.	PERIMETER
C.I.	CAST IRON	PL.	PLATE
CKT.	CIRCUIT	PLBG.	PLUMBING
CL.	CLEAR	PLYWD.	PLYWOOD
CLG.	CEILING	PNL.	PANEL
C.M.U.	CONCRETE MASONRY UNIT	PRESS.	PRESSURE
C.O.	CLEAN OUT	PSF.	POUNDS/SQUARE FOOT
CPT.	CARPET	PSI.	POUNDS/SQUARE INCH
COL.	COLUMN	PSTG.	POUNDS/SQUARE INCH GAGE
COMP.	COMPRESSOR	P.T.	PRESSURE TREATED
CONC.	CONCRETE	PT.	PAINT
COND.	CONDENSATE	PTD.	PAINTED
CONN.	CONNECTION	QT.	QUARRY TILE
CONT.	CONTINUOUS	QTR.	QUARTER
CJ.	CONTROL JOINT	QUAN.	QUANTITY
CT.	CERAMIC TILE	R.	RADIUS
C.T.B.	CERAMIC TILE BASE	R.A.	RETURN AIR
CU.	CONDENSING UNIT	RAD.	RADIUS
DET.	DETAIL	R.A.G.	RETURN AIR GRILLE
DIA. D.	DIAMETER	R.A.R.	RETURN AIR REGISTER
DIFF.	DIFFUSER	RD.	ROUND
DIM.	DIMENSION	R.D.	ROOF DRAIN
DISC.	DISCONNECT	RDY.	READY
DIST.	DISTRIBUTION	RECIRC.	RE-CIRCULATING
D.J.	DUMMY JOINT	RECP.	RECEPTACLE
DN.	DOWN	REG.	REGISTER
DR.	DRAIN	RENF.	REINFORCING
D.S.	DOWNPOUT	REQ.	REQUIRED
DWG.(S)	DRAWING(S)	RET.	RETURN
E.	EAST	R.G.	RETURN GRILLE
EA.	EACH	RM.	ROOM
E.C.	EMPTY CONDUIT	R.O.	ROUGH OPENING
E.F.	EXHAUST FAN	R.P.M.	REVOLUTION/MINUTE
EL.	FLOOR ELEVATION	RWL.	RAIN WATER LEADER
ELEV.	ELEVATION	S.A.	SUPPLY AIR
EQ.	EQUAL	S.A.T.	SUSPENDED ACOUSTICAL TILE
EQUIP.	EQUIPMENT	SCH.	SCHEDULE
E.W.C.	ELECTRIC WATER COOLER	SECT.	SECTION
EXH.	EXHAUST	SERV.	SERVICE
EXP.	EXPANSION	S.G.	SUPPLY GRILLE
E.J.	EXPANSION JOINT (E.J.)	SHT.	SHEET
E.W.	EACH WAY	SP.	STAND/Pipe
EXT.	EXTERIOR	SPEC.	SPECIFICATIONS
EXIST.	EXISTING	SQ. FT.	SQUARE FEET
F.A.	FIRE ALARM	SRB.	STRAIGHT RESILIENT BASE
F.B.C.	FLORIDA BUILDING CODE	SS.	STAINLESS STEEL
F.C.	FLEXIBLE CONNECTION	STL.	STEEL
F.D.	FLOOR DRAIN	STOR.	STORAGE
F.E.	FIRE EXTINGUISHER & BRACKET	STRUC.	STRUCTURAL
F.E.C.	FIRE EXTINGUISHER & CABINET	SUSP.	SUSPENDED
F.H.C.	FIRE HOSE CABINET W/ EXTINGUISHER	SW.	SWITCH
FN.	FINISH	T.	TOP
FL.	FLOOR	TEL.	TELEPHONE
FP.	FIRE PROOFING	TEMP.	TEMPERATURE
FT.	FOOT-FEET	THK.	THICK
FTG.	FOOTING	THD.	THRESHOLD (THRESH)
FVC.	FIRE VALVE CABINET	T.O.W.(B)	TOP OF WALL (BEAM)
GA.	GAUGE	TOL.	TOLERANCE
GAL.	GALLON	TYP.	TYPICAL
GALV.	GALVANIZED	UNO.	UNLESS NOTED OTHERWISE
G.F.E.	GOVERNMENT FURNISHED EQUIPMENT	UR.	URINAL
GL.	GLASS	V.	VOLT
GND.	GROUND	VT.	VINYL COMPOSITION TILE
G.P.M.	GALLONS PER MINUTE	V.C.	VITROUS CLAY
GR.	GRILLE	V.E.J.	VERTICAL EXPANSION JOINT
GWB.	GYPSPUM WALLBOARD	VENT.	VENTILATION
GYP. BD.	GYPSPUM BOARD	VERT.	VERTICAL
H.B.	HOSE BIBB	V.I.F.	VERIFY IN FIELD
H.C.	HANDICAP	V.T.R.	VENT THRU ROOF
HT.	HEIGHT	W.	WATT
H.M.	HOLLOW METAL	WI.	WITH
H.P.	HIGH POINT	W.C.	WATER CLOSET
HR.	HOUR	W.C.O.	WASTE CLEAN OUT
HTG.	HEATING	WD.	WOOD
H.V.	HEATING & VENTILATING	W.D.	WINDOW DIMENSION
HDWE.	HARDWARE	WF.	WIDE FLANGE
HYD.	HYDRANT	WG.	WATER GAGE
I.D.	INSIDE DIAMETER	W.P.	WEATHERPROOF
INV. EL.	INVERT ELEVATION	WTR.	WATER
IN.	INCHES	W.W.F.	WELDED WIRE FABRIC
INCAND.	INCANDESCENT		
INSUL.	INSULATION		
INT.	INTERIOR		
J.B.	JUNCTION BOX		
JCT.	JUNCTION		
JT.	JOINT		

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Tallahassee Florida

CS-2

225 South Adams St, Tallahassee, FL 32301
Phone 850 224-6301 Fax 850 561-6978

PROJECT DATA AND CODE INVESTIGATION SUMMARY

1. GENERAL PROJECT INFORMATION

Project Name: **Chaires Fire Station Addition**

Project Location:
 City: Tallahassee/Chaires Community
 County: Leon
 State: Florida
 Project Address: 4701 Chaires Cross Road

Project Number: 11000 Date: 12 April 2011

2. ZONING AND RESTRICTIONS

Zoning: **Rural Community** Site Size: **N/A**

Building Setbacks: Required: Front: 25' Sides: 20' Rear: 25' Provided: Front: 25' Sides: 76' Rear: 70'
 Parking Setbacks: Front: 40' Sides: 20' Rear: 20' Front: 77' Sides: 73' Rear: 37'
 Height Limit Per Zoning: 45' N/A
 Max. % Impervious Surface: 60% N/A
 Total Parking Spaces: N/A
 Other: N/A

3. APPLICABLE CODES

Building	Florida Building Code (FBC)	2007 Edition, w/ 2009 rev.
Mechanical	Florida Mechanical Code (FMC)	2007 Edition, w/ 2009 rev.
Gas	Florida Gas Code (FGC)	2007 Edition, w/ 2009 rev.
Plumbing	Florida Plumbing Code (FPC)	2007 Edition, w/ 2009 rev.
Fire	Florida Fire Prevention Code (FFPC)	2007 Edition,
Life Safety	NFPA 101, Life Safety Code (LSC)	2007 Edition,
Electrical	National Electrical Code (NEC 70)	2007 Edition,
Energy	Florida Mechanical Code (FMC, Chapter 13)	2007 Edition, w/ 2009 rev.
ADA	Florida Building Code (FBC, Chapter 11)	2007 Edition, w/ 2009rev.

4. OCCUPANCY

Occupancy Group Classification:	FBC: Group R w/ accessory S	FBC Ch. 4, Section 508.3
Gross Floor Area:	NFPA: Existing: 3,240 sq. ft. Addition: 420 sq. ft. TOTAL: 3,660 sq. ft.	NFPA 101, Ch. 6, Section 6.1.3
Net Floor Area:	Existing: 3,240 sq. ft. Addition: 420 sq. ft. TOTAL: 3,660 sq. ft.	
Total Occupancy:	Existing: 3,240 sq. ft. Addition: 420 sq. ft. TOTAL: 3,660 sq. ft.	
Occupancy Separation:	N/A - Mixed Occupancy	FBC 708, NFPA Ch. 6, Sec. 6.1.14.1
Tenant Separation:	N/A - Single Tenant	FBC, Section 708

NOTE: Existing 2-hour separation between the residential occupancy and the apparatus bays will remain unchanged by this project

5. CONSTRUCTION

Type of Construction: **FBC V** FBC Ch. 5 & 6
 NFPA 101, Sec. 8.2.1, Table 8.1

Protected or Unprotected: **Unprotected**
 Note: Protected or unprotected refers to the structure, NOT whether or not it is sprinkled.

Sprinkled or Non-Sprinkled: **Nonsprinkled**

Max. Building Height: 40' (FBC Tbl. 503) & Sec. 504 21'
 Max. No. of Stories: 1 (FBC Tbl. 503) & Sec. 504 1
 Max. Floor Area/Floor: 9,500 (FBC Table 505) 24,693 <(31,825 x 3)

SEE AREA MODIFICATION

Area Modification Increase: $A_a = \left[\frac{\Delta A_x L_x}{100} \right] + \left[\frac{\Delta A_x L_x}{100} \right]$ $I = 100 \left[\frac{E}{P} - .25 \right] \left(\frac{W}{30} \right)$

Total Allowable Area/Floor: N/A
 Max. Building Area: N/A

6. FIRE PROTECTION

Fire Protection Requirements	(FBC Table 601/NFPA Tbl. a.8.2.1)	Required	Provided
Exterior Bearing Walls, supporting more than 1 floor:		0/0	0
Interior Bearing Partitions:		0/0	0
Columns, supporting more than 1 floor:		0/0	0
Beams, girders and trusses, supporting more than 1 floor:		0/0	0
Floor & floor/ceiling		0/0	0
Roof & roof/ceiling		0/0	0
Exterior bearing wall(s) rating / % permitted openings	(FBC Table 602)	Required	Provided
North, Horizontal separation distance:	Over 30'	0/0	0
South, Horizontal separation distance:	Over 30'	0/0	0
East, Horizontal separation distance:	Over 30'	0/0	0
West, Horizontal separation distance:	Over 30'	0/0	0
Exterior non-bearing wall(s) rating / % permitted openings		Required	Provided
North, Horizontal separation distance:	Over 30'	0/0	0
South, Horizontal separation distance:	Over 30'	0/0	0
East, Horizontal separation distance:	Over 30'	0/0	0
West, Horizontal separation distance:	Over 30'	0/0	0
Minimum Fire Resistance	Walls & Partitions (FBC Tbl. 715.4) (NFPA 7.1.3)	Protective Opening (FBC Tbl. 715.4) (NFPA 8.2.3.2.3)	Limit of Fire Protective Rated Glazing (FBC Tbl. 715.4)
Fire Walls and Barriers (1hr Rated)	N/A	N/A	N/A
Fire Walls and Barriers (>1hr Rated)	2hr / 2hr	.75hr / .75hr	100 sq. in.
Fire Partitions			
Corridor Walls	N/A	N/A	N/A
Other Fire Partitions	N/A	N/A	N/A
Exterior Walls	N/A	N/A	N/A
Smoke Barriers	N/A	N/A	N/A
Smoke Barriers (FBC Chapter 7) (NFPA 7.1.3.1)			

Note: Janitor, Mechanical Rooms (w/ gas-fired equipment) and General Storage Areas in non-sprinkled buildings require 1 hour rating and 3/4 hour opening protection.

Minimum Interior Finish Class	Floor	Exits access B	FBC Table 803.5
FBC Exits B	Floor	Exits Access B or CNFPA 101, Chapter 10.2.2	
MFPA Exits B	Floor		
Manual Fire Alarm Required	YES		FBC Chapter 9, NFPA 101, Chapter 12

7. EXITS

Minimum Number of Exits:	Required: 2 (FBC Ch. 10, 1018, NFPA 7-4.1.2)	Provided: 2
Max. Travel Distance:	100' (FBC Table 1015) 250' (NFPA 7.6, Table A-7.6.1)	85'
Max. Dead End Corridor:	N/A (FBC Table 1016) 20' (NFPA 7.3 Table A-7.6.1)	N/A
Min. Corridor/Aisle Width:	N/A (FBC Table 1016) 44" (NFPA Ch. 48.2.3.2)	N/A
Min. Egress Capacity Width (13 x 2 = 2.6)	2.6" (FBC Table 1005) 2.6" (NFPA 7.3, Table 7.3.3.1)	72"
Separate or emergency source of light required?	YES (FBC 1006, Table 1016) (NFPA, Ch 42.8.2.9)	YES

8. DOORS

Minimum Clear Door Width	Required: 32" (FBC 1008)	(NFPA 7-2.1.2.3)	Provided: N/A
Minimum Egress Capacity Door With	32" (FBC 1008)	(NFPA 7.2.1.2)	N/A
Maximum Door Width	48" (FBC 1008)		N/A
Minimum Door Height	6'-8" (FBC 1008)	(NFPA7-1.5)	N/A

Door Swing: Door must swing in the direction of egress if it serves 50 or more persons.
 Doors shall not reduce the corridor or landing width to less than 1/2 the required width during the opening process nor project more than 7" into the required width of the corridor or landing when fully open.
 Minimum space between 2 hinged or pivoting doors = 48" plus the width of any door swinging into the space. (FBC 1008)(NFPA 5-2.1.4)

Special egress panic hardware required? **NO** (FBC 1008)(NFPA 7.2.1.7)

9. STAIRS N/A

10. RAMPS N/A

11. ELEVATORS N/A

12. HANDRAILS N/A

13. GUARDRAILS N/A

14. STRUCTURAL DESIGN LOADS

Footing Bearing Capacity (per Alpha Geotechnical Report #11-2205 dated 13 Feb. 2011) 2,500 p.s.f.

LIVE LOADS - FLOORS: (FBC Ch. 16, Table 1607.1) LIVE LOADS - ROOFS: (FBC 1607)

Condition:	Live Load	Load:
Public Areas -	100 p.s.f.	100 p.s.f.
Public Areas -	Dead Load	5 p.s.f.
Storage -	Live Load	125 p.s.f.
Stair -	Live Load	100 p.s.f.
Stair -	Dead Load	5 p.s.f.
Mechanical / Electrical Rms. -	Live Load	125 p.s.f.
Roof -	Live Load	20 p.s.f.
Roof -	Dead Load	16 p.s.f.
Guardrails / Handrails	Point Load	200 lb. (FBC 1607)
Wind Load		110 m.p.h. (FBC fig. 1609)
Importance Factor		1.15 (FBC Tbl. 1604.5)

15. HANDICAPPED ACCESSIBILITY (ADA) REQUIREMENTS N/A

16. THERMAL RESISTANCE OF ASSEMBLIES

Code requirements FBC Ch. 13 - Energy Efficiency (Florida Energy Efficiency Code for Building Construction) Subchapter 4.

Recommended Guidelines	Wall Assemblies	Roof Assemblies
Floor Assemblies	Masonry R-7	Insulation Only R-19
Slab on Grade	Wood Frame R-11	Assembly Total R-30
Raised Wood	Metal Frame R-13	
Raised Concrete		

Note: Walls limited to exterior, adjacent & common walls.
 Doors: Doors in exterior, adjacent and common walls should be limited to insulated glass, solid core wood, wood panel or insulated hollow metal types.

17. FIRE EXTINGUISHING EQUIPMENT

Florida Statutes 553.895- Buildings 3 stories or more, except 1 & 2 family dwellings and open, noncombustible parking garages > 20' from adjacent structures require an approved automatic fire sprinkler system.
 Requirements as classified by occupancy and use. FBC Chapter 9
 2004 FBC Chapter 9- Requirements as classified by occupancy and use. NFPA Chapter 12
 2003 NFPA 101 Sec. 9.7

Approved Automatic fire Sprinkler System Required? **NO**

Standpipe
 2004 FBC Section 905 Requirements as classified by listed condition. FBC Section 905
 2003 NFPA 101 Sec. 9.7.4.2 Requirements as classified by occupancy and use. NFPA Sec. 42.8.3.5

Standpipe Required? **NO**

Standpipe Class and Type
 2004 FBC Section 905 Requirements as Classified by listed condition. FBC Section 905
 2003 NFPA 14 Standard for the Installation of Standpipes.

Standpipe Class & Type **Class 1 Semi-Automatic**

Fire Extinguishers
 Code Requirements: **NFPA 10 Standards for Portable Fire Extinguishers** 2002 Edition
 Fire Hazard Classifications: **Class A, B & C** NFPA 10, Ch 3.3.4
 Occupancy Hazard Class: **Light (Low)** NFPA 10, Ch 1.4.1
 Extinguisher Classification: **10 lb. > 4A:60B:C**

Extinguisher Size & Distribution NFPA 10, Ch 5 & Annex E

Class "A" Hazards (Table 5.2.1)
 Min. Rating of Single Extinguisher **2A**
 Max. Floor (Coverage) Area / Unit "A" **3,000 sq. ft.**
 Allowable Floor Area / Extinguisher **11,250 sq. ft.**
 Max. Floor Area / Extinguisher **11,250 sq. ft.**
 Max. Travel Distance to Extinguisher **75'**

Class "B" Hazards (Table 5.3.1)
 Min. Rating of Single Extinguisher **10-B**
 Max. Travel Distance to Extinguisher **30'**

Class "C" Hazards To be distributed on the basis of anticipated Class "A" or Class "B" Hazards. Ch. 5-5
 Unit size as per other hazards.

Class "D" Hazards To be distributed in the immediate vicinity of hazard with max. travel distance of 75'. Unit size per mfg. Ch. 5-6

Class "K" Hazards 30' max. travel distance. Ch 5-7

Total Extinguisher counts Required Provided*
 3,660 sq. ft. Floor area served 2 2 (Existing)
 11,250 sq. ft. Allowable Floor Area / Extinguisher
 Note: Total provided must also meet max. travel distance.

18. VENTILATION REQUIREMENTS

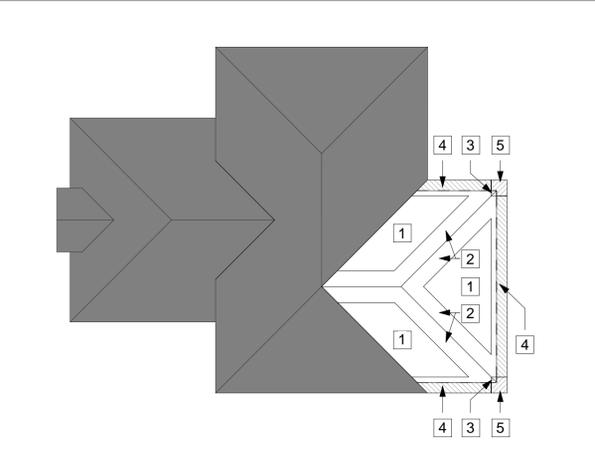
Crawl Space (FBC 1203)

Crawl spaces under buildings shall be ventilated by mechanical means or foundation openings.

Mechanical Means	See Mechanical Plans & Specifications
Foundation Openings	Required Provided
Wood Floor Systems	1 sf net open area / 150 sf crawlspace N/A
Floor Systems other than Wood	1.5 sf net open area / 15 l.f. of exterior wall N/A

Attic Space - Pitched Roof Required (FBC 2309.7) Provided

A ratio of total net free ventilating area to ceiling area of 1:150, or reduction to 1:300 providing a vapor retarder on warm side of ceiling or 50% or required vent area by means of mechanical ventilators and balance by eave or cornice vents.



1 Wind Load
 CS-3 1/16" = 1'-0"

ZONE	EFFECTIVE TRIBUTARY AREA (SQ. FT.)					
	10	20	50	100	200	500
1 ROOF INTERIOR FIELD	+12	+11	+10	+9	+9	+9
	-20	-19	-18	-18	-18	-18
2 ROOF EDGES, HIPS & PEAKS	+12	+11	+10	+9	+9	+9
	-34	-31	-28	-25	-25	-25
3 ROOF CORNERS & RIDGE AT EDGE	+12	+11	+10	+9	+9	+9
	-50	-46	-42	-39	-39	-39
4 ROOF EDGES & HIPS, OVERHANG	+12	+11	+10	+9	+9	+9
	-43	-43	-43	-43	-43	-43
5 ROOF CORNERS & RIDGE, OVERHANG	+12	+11	+10	+9	+9	+9
	-69	-63	-54	-48	-48	-48

EDGE ZONE WIDTH = 3'-0"
 MEAN ROOF HEIGHT = 16'-0"
 IMPORTANCE FACTOR = 1 = 1.15
 WIND SPEED = 110 MPH
 EXPOSURE CATEGORY = B

WIND PRESSURES FOR ROOF & WALLS (PSF)
 (COMPONENTS & CLADDING)



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DATA & CODE

Tallahassee Florida
CS-3

PERMIT DOCUMENTS FOR
LEON COUNTY
CHAIRES FIRE STATION #12 ALTERATIONS

**4701 CHAIRES CROSS ROAD
TALLAHASSEE, FLORIDA 32301**

GENERAL EARTHWORK NOTES:

1. ALL STRUCTURES, CONCRETE, TREES, BRUSH AND RUBBISH SHALL BE REMOVED AND ACCEPTABLY DISPOSED OF.
2. ALL DISTURBED AREAS SHALL BE STABILIZED 24 HRS PRIOR TO ANY RAIN EVENT. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HRS AFTER FINAL GRADING.
3. ALL FILL AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
4. ALL SLOPES STEEPER THAN 4:1 SHALL BE SODDED.
5. EROSION CONTROL BALES OR SILT FENCE SHALL BE PLACED AT THE TOE AND DRAINAGE OUTFALL POINTS OF ALL SLOPES 4:1 OR STEEPER TO PREVENT SILTATION ON STREETS. REFER TO STORMWATER MANAGEMENT PLAN FOR DETAIL AND LOCATION OF EROSION CONTROL MEASURES.
6. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, COUNTY AND STATE REGULATIONS PERTAINING TO GRADING, DUST AND EROSION.
7. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME. ALL TREES TO BE REMOVED OR RELOCATED WILL BE MARKED BY THE OWNER PRIOR TO REMOVAL.
8. TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSION ELEMENTS. ANY STOCKPILE LOCATIONS SHALL BE PRE-APPROVED BY THE COUNTY ENVIRONMENTAL INSPECTOR.
9. AT ALL TIMES, THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN FUGITIVE DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE CONTRACTOR SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTY.
10. ALL EXISTING UTILITY LINE LOCATIONS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
11. ALL TRAFFIC CONTROL DEVICES SHALL COMPLY WITH THE LATEST VERSION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE CONTRACTOR IS DIRECTED TO PAY PARTICULAR ATTENTION TO THE SELECTION OF CONSTRUCTION ZONE TRAFFIC.
12. THE TYPE, SIZE, LOCATIONS AND NUMBER OF KNOWN UNDERGROUND UTILITIES ARE PLOTTED FROM THE BEST AVAILABLE INFORMATION. HOWEVER, EXACT LOCATIONS AND THE TYPE OF EXISTING UTILITIES ARE APPROXIMATE AND NOT NECESSARILY ALL INCLUSIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE AREA OF WORK. BEFORE COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL UNDERGROUND UTILITIES.
13. CONSTRUCTION STAKING TO BE PROVIDED BY THE CONTRACTOR.
14. ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE PLANS AND APPLICABLE LEON COUNTY, UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS. WORK NOT INCLUDED IN ANY OF THESE CRITERIA SHALL BE CONDUCTED IN ACCORDANCE WITH FDOT SPECIFICATIONS AND THE GREEN BOOK STANDARDS. CONTRACT DOCUMENTS CANNOT SUPERSEDE APPROVED PERMIT DOCUMENTS AND SPECIFICATIONS WITHOUT WRITTEN PERMISSION FROM LEON COUNTY ENVIRONMENTAL DIVISION.
15. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO THE INSPECTION AND ACCEPTANCE BY THE OWNER. THE OWNER'S RESERVE THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO THEIR STANDARDS AND SPECIFICATIONS IN THE CONTRACT DOCUMENTS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCEPTANCE AND CONTROL OF ALL FLOWS INCLUDING SURFACE WATER AND GROUNDWATER INFLOW INTO THE PROJECT SITE.
17. THE CONTRACTOR SHALL HAVE A COPY OF THE CONTRACT PLANS AND SPECIFICATIONS ON SITE AT ALL TIMES.
18. THE OWNER WILL BE RESPONSIBLE FOR COORDINATING CONSTRUCTION ACCESS APPROVALS, FOR ALL PROPERTIES ASSOCIATED WITH THE CONSTRUCTION.
19. UNLESS OTHERWISE INDICATED, PIPE LENGTHS SHOWN ON THESE PLANS ARE BASED ON HORIZONTAL DISTANCES BETWEEN STATIONS AND ARE NOT NECESSARILY THE TRUE LENGTHS OF THE PIPE. THE CONTRACTOR SHALL PROVIDE AND INSTALL THE TRUE LENGTH REQUIRED.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING FEATURES AND FACILITIES FROM DAMAGE AND SHALL REPAIR OR REPLACE DAMAGED FEATURES AND FACILITIES AT HIS OWN EXPENSE.
21. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY CONDITIONS THAT ARE NOT CONSISTENT WITH THE DRAWINGS AND/OR SPECIFICATIONS.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL SURFACES AND RELATED STRUCTURES INCLUDING BUT NOT LIMITED TO CURB AND GUTTER, SIDEWALK, ASPHALT AND CONCRETE WEARING SURFACES TO THE ORIGINAL CONDITIONS.
23. COMPACTION FOR ALL FILL ZONES AND SUBGRADES SHALL BE AT MINIMUM 95-PERCENT OF THE MODIFIED PROCTOR DRY DENSITY (ASTM D-1557) AND WITHIN 1-PERCENT BELOW AND 3-PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT. FILL LIFTS SHALL NOT BE PLACED IN GREATER THAN 8-INCH BULK LIFTS.
24. ALL RIP RAP AND BEDDING MATERIAL FOR RIP RAP SHALL MEET THE REQUIREMENTS OF THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT, UNLESS OTHERWISE NOTED ON THE PLAN DRAWINGS.
25. ALL CONCRETE SHALL MEET FDOT SPECIFICATIONS. ALL CONCRETE SHALL USE TYPE II PORTLAND CEMENT.
26. PROPERTY PINS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR AND SHALL INCLUDE SURVEYING AT THE CONTRACTOR'S EXPENSE, IF REQUIRED TO RESET THE PINS.
27. EXISTING TOPOGRAPHY AND VERTICAL DATUM INFORMATION PROVIDED BY EDWIN BROWN & ASSOCIATES, 2813 CRAWFORDVILLE HWY, CRAWFORDVILLE, FL 32327. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
28. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF EARTHWORK CONSTRUCTION TO ALLOW FOR MONITORING AND COMPACTION TESTING.
29. IF DURING CONSTRUCTION OR OPERATION OF THE STORMWATER MANAGEMENT SYSTEM, A STRUCTURAL FAILURE IS OBSERVED THAT HAS THE POTENTIAL TO CAUSE THE DIRECT DISCHARGE OF SURFACE WATER INTO THE FLORIDIAN AQUIFER SYSTEM, CORRECTIVE ACTIONS DESIGNED OR APPROVED BY A REGISTERED PROFESSIONAL SHALL BE TAKEN AS SOON AS PRACTICALLY POSSIBLE TO CORRECT THE FAILURE. A REPORT PREPARED BY A REGISTERED PROFESSIONAL MUST BE PROVIDED AS SOON AS PRACTICAL TO THE NWFMD FOR REVIEW AND APPROVAL AND AS BUILT MATERIALS SHALL BE SUBMITTED TO THE LEON COUNTY ENVIRONMENTAL DIVISION THAT PROVIDES REASONABLE ASSURANCE THAT THE BREACH WILL BE PERMANENTLY CORRECTED.
30. ALL ROOF DRAINAGE SHALL BE DIRECTED INTO THE STORMWATER MANAGEMENT SYSTEM.

**ADMINISTRATIVE STREAMLINED APPROVAL PROCESS
SITE APPLICATION**



VICINITY MAP

NTS

**OWNER / CLIENT:
LEON COUNTY COMMISSIONERS
301 S. MONROE STREET
TALLAHASSEE, FL 32301**

**TAX I.D. NO:
12-34-20-802-000-0**

**CALL BEFORE YOU DIG!
SUNSHINE STATE ONE CALL
811
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES**

INDEX OF DRAWINGS

<u>SHEET NUMBER</u>	<u>TITLE</u>
1	-
2	-
3	-

	COVER SHEET
	SITE PLAN
	GRADING PLAN + EROSION CONTROL PLAN

CONSTRUCTION SEQUENCE:

1. A PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY ENVIRONMENTAL INSPECTOR IS REQUIRED PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY AT THE SITE.
2. EROSION & SEDIMENTATION CONTROL DEVICES SHALL BE PROPERLY INSTALLED PER THE APPROVED PLAN, AND HAVE BEEN INSPECTED AND APPROVED BY LEON COUNTY'S ENVIRONMENTAL INSPECTOR.
3. "FLAG" THE LIMITS OF CLEARING.
4. AFTER THE ON-SITE PRE-CONSTRUCTION MEETING, CLEARING AND GRADING OPERATIONS CAN COMMENCE.
5. CONSTRUCTION OF THE BUILDING ADDITION WILL OCCUR NEXT. SITE IMPROVEMENTS SUCH AS PAVING OPERATIONS WILL BE FINALIZED AT THE COMPETITION OF THE BUILDING EXPANSION.
6. AN AS-BUILT SURVEY, COMPLIANCE NARRATIVE, AND STORMWATER OPERATING AMENDMENT SHALL BE SUBMITTED TO LCEM ENVIRONMENTAL DIVISION AT LEAST TWO WEEKS PRIOR TO REQUESTING A FINAL INSPECTION.

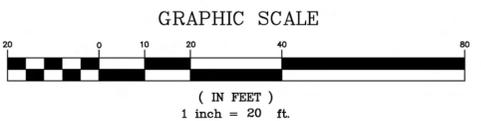
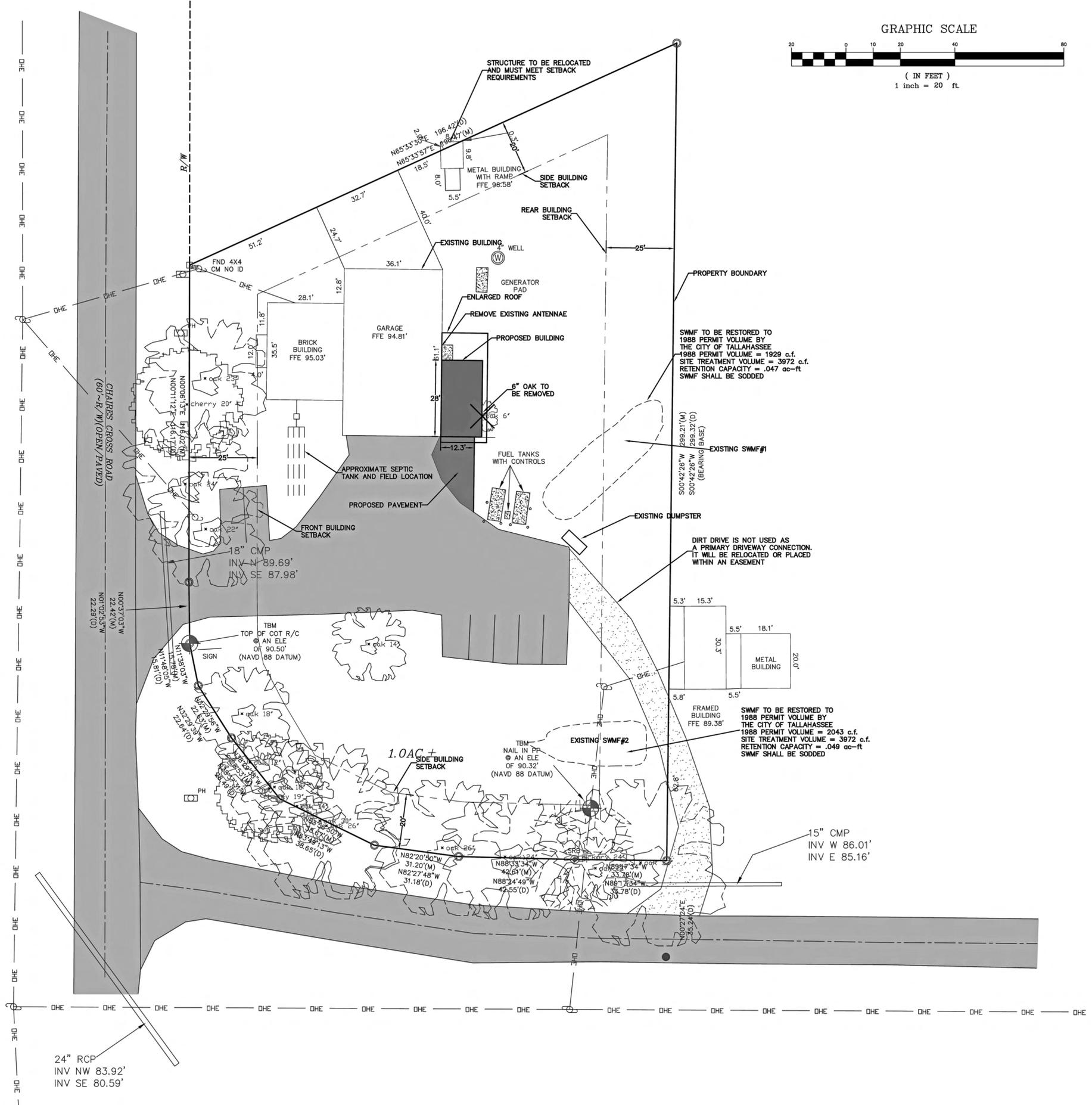
PLANS PREPARED BY:



C.A. #28124
36 Jasper Thomas Road
Crawfordville, FL 32327
PH 850-926-2593
FX 850-926-9257

DIRECTOR OF GROWTH AND ENVIRONMENTAL MANAGEMENT OR DESIGNEE _____ DATE _____

PREPARED UNDER DIRECTION OF:
LESLIE A. HOPE, P.E. #56452
HYDRA ENGINEERING, LLC _____ DATE _____



SITE STATISTICS

Project Owner: City of Tallahassee
 300 S. Adam Street
 Tallahassee, FL 32301

Project Name: Chaires Fire Station
 Existing Zoning: Rural Community
 Existing Land Use: Government Operation
 Proposed Use: Government Operation
 Parcel ID No.: 12-34-20-802-0000
 Physical Address: 4701 Chaires Cross Road
 Tallahassee, FL 32301

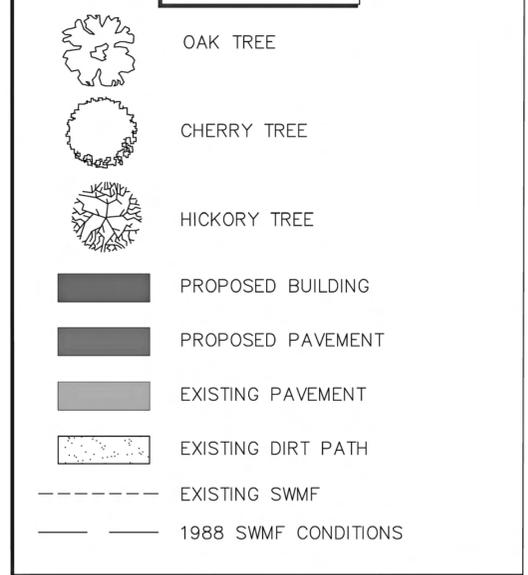
Potable Water Source: TALQUIN
 Sanitary Sewer Provider: SEPTIC

TABULATION	Square Footage	%
Total Parcel Area:	43,588	100
Project Area:	9,675	
Existing Building Area:	3,251	7.46
Existing Sidewalk & Conc. Pads:	181	0.42
Existing Pavement:	6,777	15.55
Existing Impervious Area:	10,209	23.4
Proposed Addtl Building Area and Proposed Enlarged Roof Area:	650	1.49
Proposed Addtl Sidewalks:	0	0
Proposed Addtl Pavement:	297	0.68
Less Ex. Conc. Pad under Overhang:	-23	0.05
Total Addtl Impervious Area Proposed	924	2.12
Natural Area	8,110	18.6
Parking Provided	7	
Disabled Spaces	0	
Total Parking Provided	7	



C.A. #28124
 36 JASPER THOMAS ROAD
 CRAWFORDVILLE, FL 32327
 (850) 926-2583 PHONE
 (850) 926-9257 FAX

LEGEND

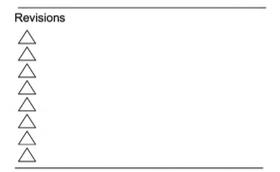


Leon County - Chaires Fire Station Addition

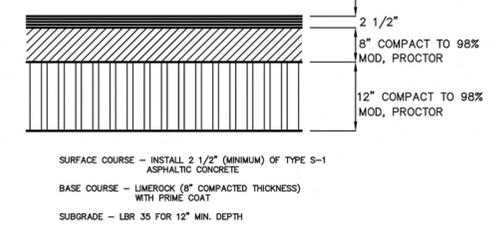
134 Drawn By: RRM
 Project Code Checked By: LAH

4 APRIL 2011
 Date

SITE PLAN



CHAIRES FIRE STATION

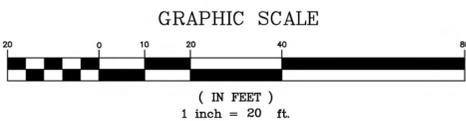
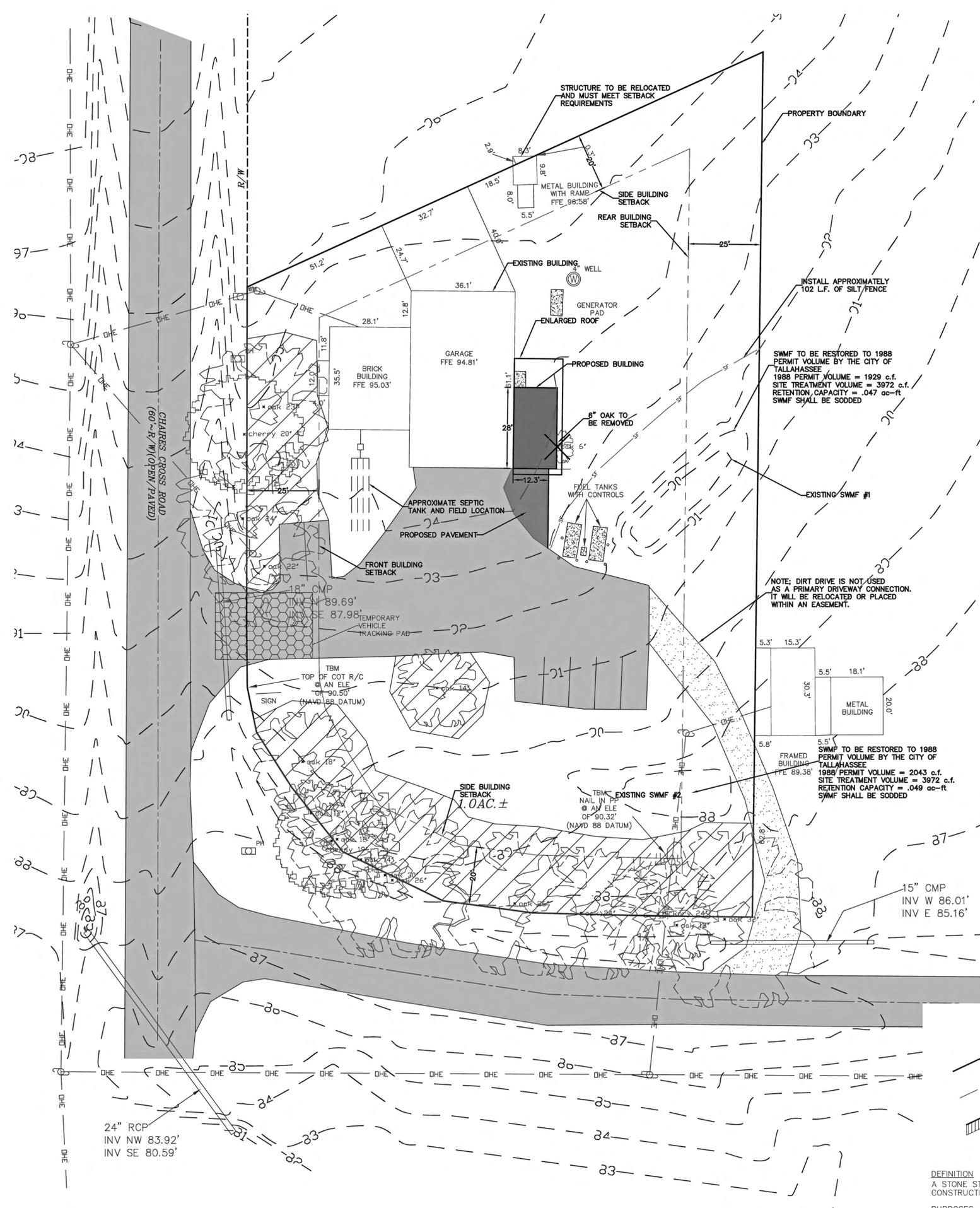


TYPICAL PAVEMENT SECTION
 N.T.S.

Tallahassee Florida

C1.0

225 South Adams St, Tallahassee, FL 32301
 Phone 850 224-6301 Fax 850 561-6978



TABULATION	Square Footage	%
Total Parcel Area:	43,568	100
Project Area:	9,675	
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Tallahassee, FL 32301

Potable Water Source: TALQUIN
Sanitary Sewer Provider: SEPTIC

- CONSTRUCTION SEQUENCE:**
1. A PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY ENVIRONMENTAL INSPECTOR IS REQUIRED PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY AT THE SITE.
 2. EROSION & SEDIMENTATION CONTROL DEVICES SHALL BE PROPERLY INSTALLED PER THE APPROVED PLAN, AND HAVE BEEN INSPECTED AND APPROVED BY LEON COUNTY'S ENVIRONMENTAL INSPECTOR.
 3. "FLAG" THE LIMITS OF CLEARING.
 4. AFTER THE ON-SITE PRE-CONSTRUCTION MEETING, CLEARING AND GRADING OPERATIONS CAN COMMENCE.
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 6. AN AS-BUILT SURVEY, COMPLIANCE NARRATIVE, AND STORMWATER OPERATING AMENDMENT SHALL BE SUBMITTED TO LCGEM ENVIRONMENTAL DIVISION AT LEAST TWO WEEKS PRIOR TO REQUESTING A FINAL INSPECTION.

- CONSTRUCTION NOTES:**
1. CONTRACTOR MUST STABILIZE & SOD (WITH CENTIPEDE) ALL DISTURBED AREAS AND BARE GROUND WITHIN THE "LIMIT OF CONSTRUCTION / SILT FENCE LINE." ALSO SOD ANY OTHER DISTURBED AREAS OUTSIDE THIS LIMIT MENTIONED.
 2. DIMENSIONS ON L.F. OF PIPES AND OTHERS ARE APPROXIMATE AND MAY VARY. CONTRACTOR TO BE RESPONSIBLE TO REMOVE OR PROVIDE ALL PIPES AND OTHERS AS REQUIRED.
 3. CONTRACTOR MUST FIRST VERIFY ALL DISTANCES, ELEVATIONS, INVERTS, BEARINGS, AND UTILITY LOCATIONS PRIOR TO BEGINNING CONSTRUCTION.
 4. THE SWMF TO BE RESTORED TO 1988 PERMIT VOLUMES PRIOR TO COMMENCING PROPOSED IMPROVEMENTS.
 5. DISCHARGE FROM THE SWMF'S IS BY WAY OF BROAD WEIR AT THE TOP OF THE SWMF GRADE CONSISTENT WITH ORIGINALLY PERMITTED AND CONSTRUCTED DESIGN. SWMF'S ARE TO BE STABILIZED WITH SOD.

- EROSION CONTROL NOTES:**
1. NO CLEARING, GRADING, CUTTING OR FILLING SHALL COMMENCE UNTIL EROSION & SEDIMENTATION CONTROL DEVICES HAVE BEEN PROPERLY INSTALLED PER THE APPROVED PLAN, BETWEEN THE AREA TO BE DISTURBED AND ADJACENT PROPERTY, WATER BODIES, WATERCOURSES (INCLUDING INLETS AND CULVERTS) AND WETLANDS AND HAVE BEEN INSPECTED AND APPROVED BY LEON COUNTY'S ENVIRONMENTAL INSPECTOR.
 2. ONCE PROPERLY INSTALLED, EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED PURSUANT TO SECTION 10-4.211 UNTIL A PERMANENT GROUND COVER IS ESTABLISHED. ANY SITE OR PORTION THEREOF WHERE WORK IS NOT BEING PERFORMED AS PART OF THE CURRENT PHASE OF DEVELOPMENT AND WHICH REMAINS CLEARED FOR OVER 30 DAYS, SHALL BE STABILIZED THROUGH THE ESTABLISHMENT OF APPROPRIATE GROUND COVER.
 3. THE CONTRACTOR SHALL REQUEST AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH THE LEON COUNTY GROWTH AND ENVIRONMENTAL MANAGEMENT DIVISION AND THE COUNTY ENVIRONMENTAL INSPECTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES.
 4. CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS AND CERTIFICATIONS AS MAY BE REQUIRED TO THE OWNER OR REGULATORY AGENCIES.
 5. EROSION AND SEDIMENTATION MEASURES SHOWN ON THE PLANS ARE AT A MINIMUM. CONTRACTOR TO PROVIDE ADDITIONAL OR ADEQUATE EROSION / SILT CONTROL MEASURES AS MAY BE REQUIRED.
- NOTES:**
1. NO OFFSITE LIGHT SPILLAGE ON NEIGHBORING PROPERTIES.



C.A. #28124
36 JASPER THOMAS ROAD
CRAWFORDVILLE, FL 32327
(850) 926-2593 PHONE
(850) 926-9257 FAX



Leon County - Chaires Fire Station Addition

2010134 Drawn By: RRM
Project Code Checked By: LAH
4 APRIL 2011
Date

GRADING PLAN

Revisions

△	
△	
△	
△	
△	
△	
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CHAIRES FIRE STATION

Tallahassee Florida
C2.0
225 South Adams St, Tallahassee, FL 32301
Phone 850 224-6301 Fax 850 561-6978

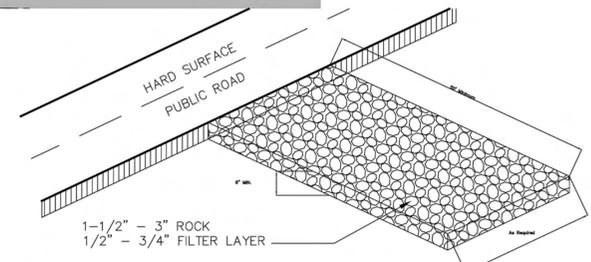
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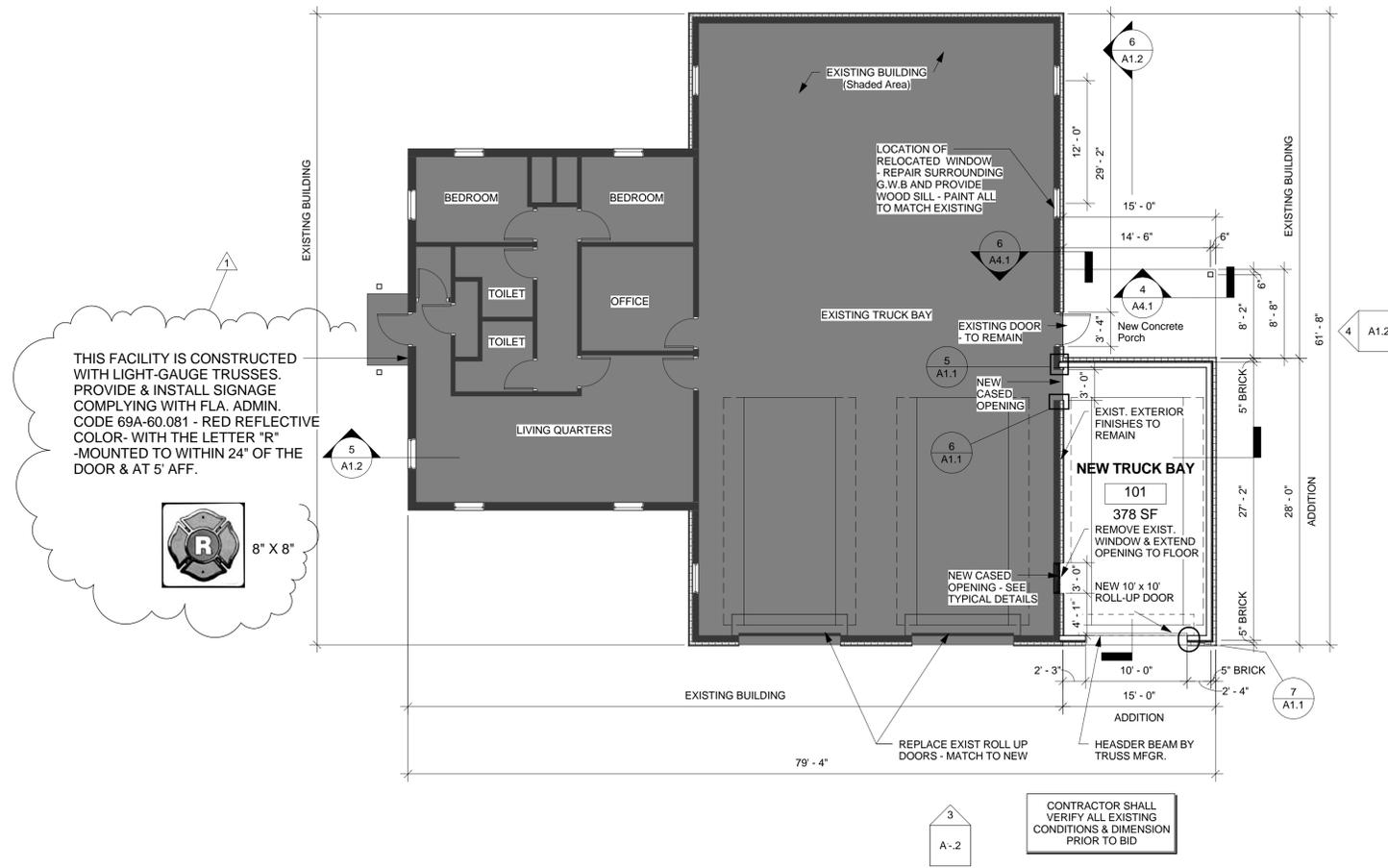
	OAK TREE
	CHERRY TREE
	HICKORY TREE
	PROPOSED BUILDING
	PROPOSED PAVEMENT
	EXISTING PAVEMENT
	NATURAL AREA ON SITE
	EXISTING DIRT PATH
	SILT FENCE

DEFINITION
A STONE STABILIZED PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE.

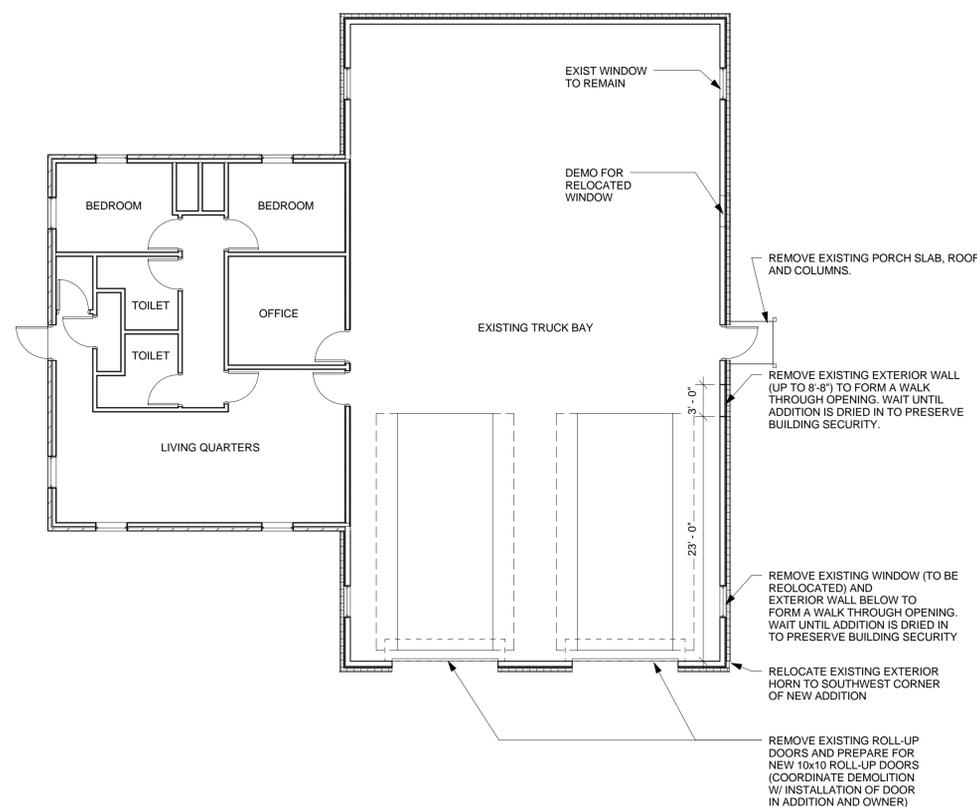
PURPOSES
TO REDUCE THE AMOUNT OF MUD TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.
NOTE: ONLY APPLICABLE FOR SITES GREATER THAN 2 ACRES IN SIZE.

VEHICLE TRACKING CONTROL



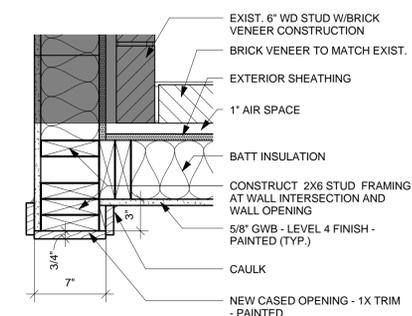


3 New Floor Plan
A1.1 1/8" = 1'-0"

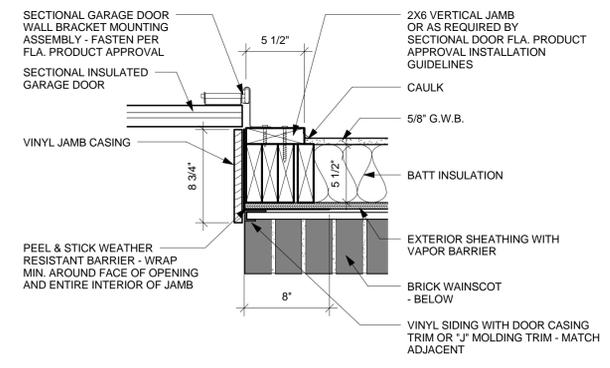


1 Demolition Floor Plan
A1.1 1/8" = 1'-0"

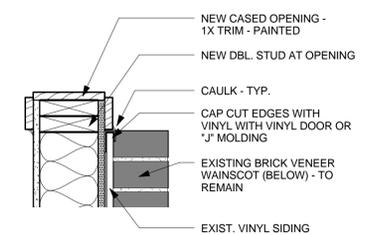
NOTE: ALL EXTERIOR COMPONENTS SHALL PROVIDE FLORIDA PRODUCT APPROVAL CERTIFICATION.



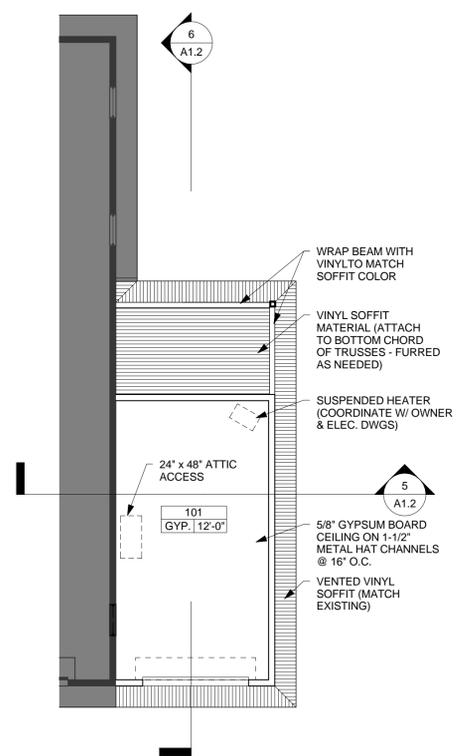
5 Cased Opening - Detail 1
A1.1 1 1/2" = 1'-0"



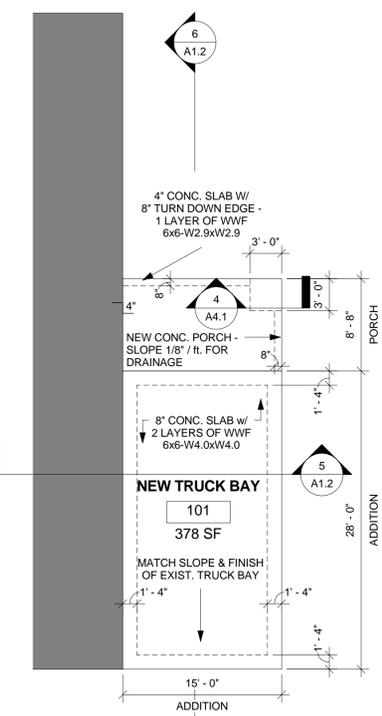
7 Section Garage Door - Typical Detail
A1.1 1 1/2" = 1'-0"



6 Cased Opening - Detail 2
A1.1 1 1/2" = 1'-0"



4 Reflected Ceiling Plan
A1.1 1/8" = 1'-0"



2 New Foundation Plan
A1.1 1/8" = 1'-0"

- DEMOLITION NOTES**
- DEMOLITION CONTRACTOR SHALL VERIFY ALL BUILT CONDITIONS PRIOR TO BIDDING. THE WINNING CONTRACTOR TO RE-VERIFY ALL CONDITIONS PRIOR TO CONTRACT AND COMMENCEMENT OF WORK.
 - PROTECT ALL NON-DEMOLITION AREAS FROM DEMOLITION RELATED DAMAGE (INCLUDING DUST).
 - PROTECT ALL NON-DEMOLITION AREAS FROM THE ELEMENTS, INCLUDING MAINTAINING A WEATHERTIGHT ENVELOPE AT ALL TIMES IN THE EXISTING FACILITY.
 - CAP ALL UNUSED UTILITIES OR REROUTE ALL IN-SERVICE UTILITIES PER CIVIL AND/OR MEP ENGINEERS. REFERENCE SPECIFIC ENGINEER DRAWINGS FOR ADDITIONAL INFORMATION.
 - REMOVE AND SALVAGE ALL ITEM AS REQUESTED BY THE COUNTY OR ARCHITECT/ENGINEER ON THESE PLANS. ANY AND ALL SALVAGED ITEMS SHALL BE STOCKPILED/STORED IN REMOVED OR RECONDITIONED STATE, OR DELIVERED TO OWNER AS SPECIFIED, UNTIL RE-USED ON SITE IF APPLICABLE.
 - CONSULT STRUCTURAL ENGINEER FOR QUESTIONS REGARDING THE SEQUENCE OF THE DEMOLITION OF STRUCTURAL ITEMS.
 - KEEP THE SITE CLEAN AND ORDERLY.
 - CONTRACTOR IS TO LIMIT THE LOCATION OF CONSTRUCTION VEHICLES, DEBRIS, MATERIAL STORAGE, LAY-OUT AREAS, ETC. TO LOCATIONS SPECIFIED BY OWNER.
 - CONTRACTOR IS RESPONSIBLE FOR FOLLOWING SPECIFICATIONS GOVERNING CONSTRUCTION ACTIVITIES FOUND IN SECTION 011000-SUMMARY.
 - CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION BARRICADES, FENCING, ETC. SEPARATING STAFF FROM ALL CONSTRUCTION ACTIVITIES INCLUDING DUST, ODOR AND NOISE.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR MAINTAINING SAFE CONSTRUCTION ZONE ENVIRONMENT FOR STAFF.



Leon County - Chaires Fire Station Addition

11000 Drawn By: JH2
Project Code Checked By: RRB

14 April 2011
Date

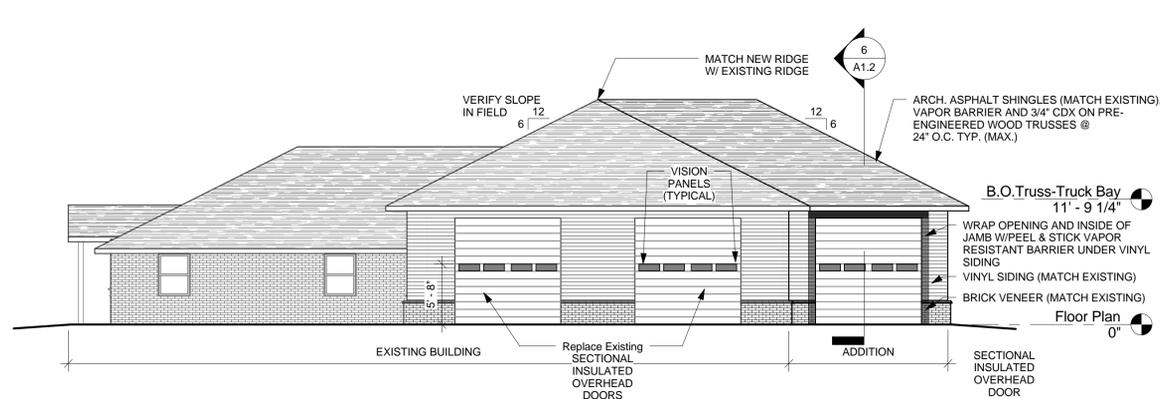
Construction Documents

Revisions	Code	Comments
1	06/20/2011	
2		
3		
4		
5		

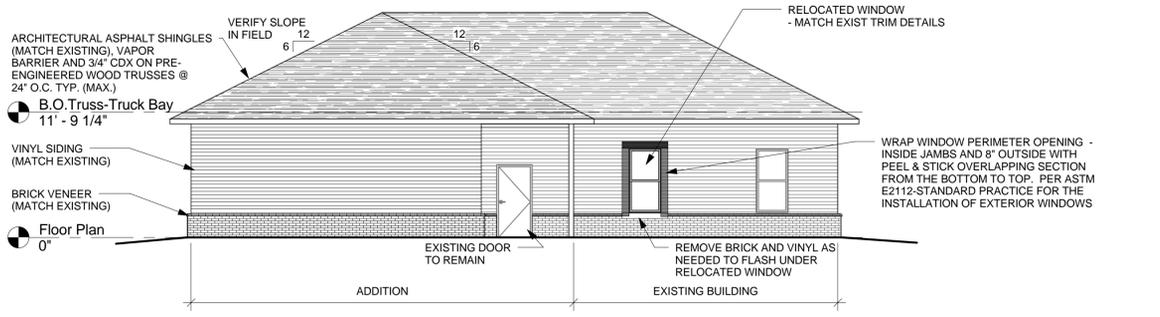
Demolition Plan, New Foundation Plan, New Floor Plan and New Reflected Ceiling Plan

Tallahassee Florida

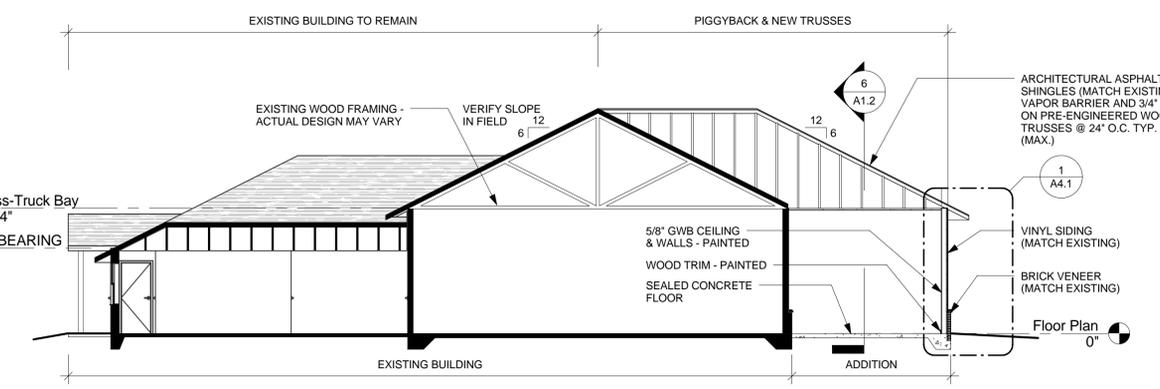
A1.1



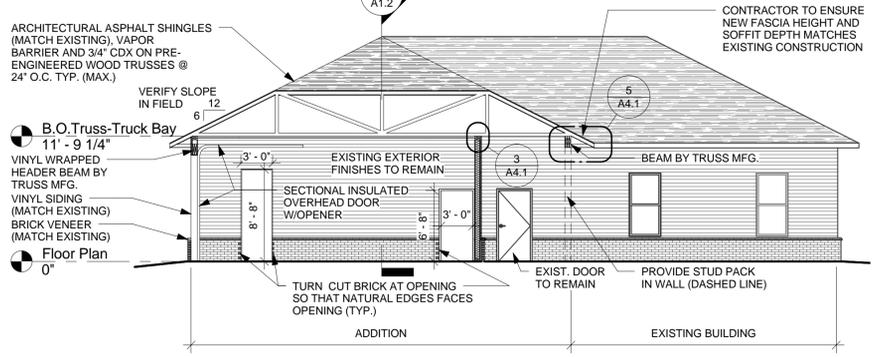
3 West - New Building Elevation
A1.2 1/8" = 1'-0"



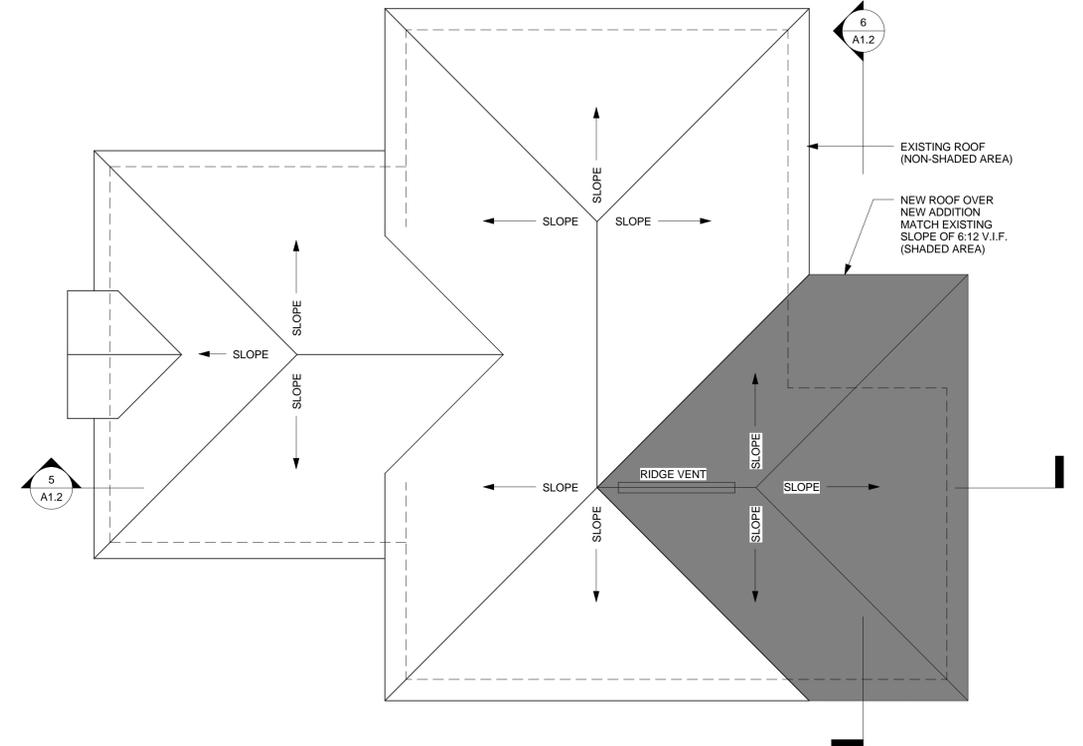
4 South - New Building Elevation
A1.2 1/8" = 1'-0"



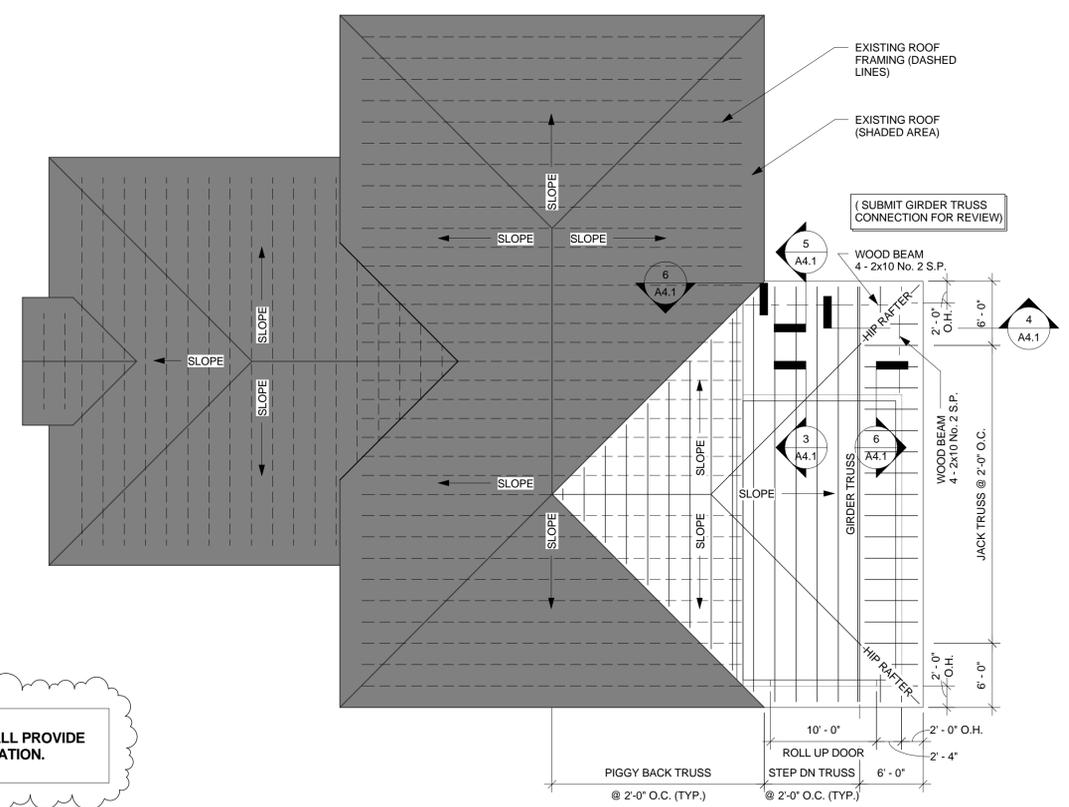
5 New Building Section @ Truck Bay
A1.2 1/8" = 1'-0"



6 New Building Section @ Addition
A1.2 1/8" = 1'-0"



1 Roof Plan
A1.2 1/8" = 1'-0"



NOTE: ALL EXTERIOR COMPONENTS SHALL PROVIDE FLORIDA PRODUCT APPROVAL CERTIFICATION.



Leon County - Chaires Fire Station Addition

11000 Drawn By: JH2
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14 April 2011
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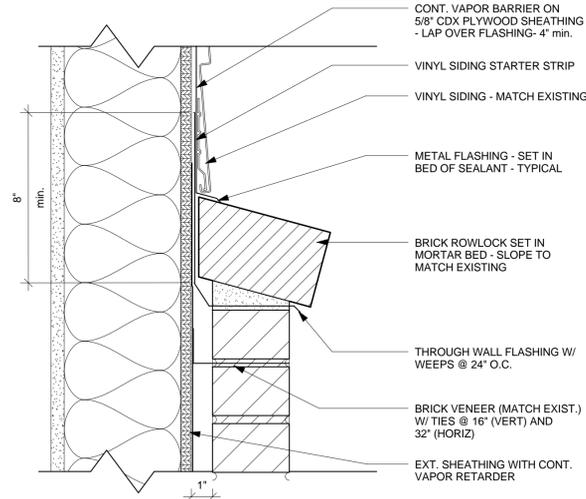
Construction Documents

Revisions	Code Comments
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2	
3	
4	
5	
6	

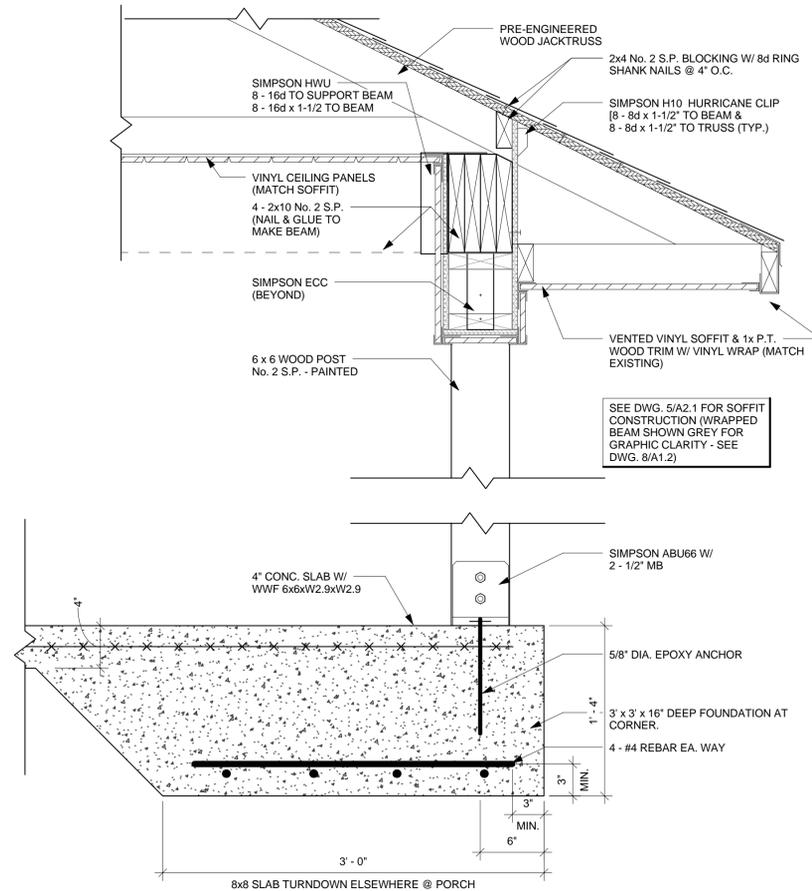
Roof Plans, Building Elevations and Building Sections

Tallahassee Florida

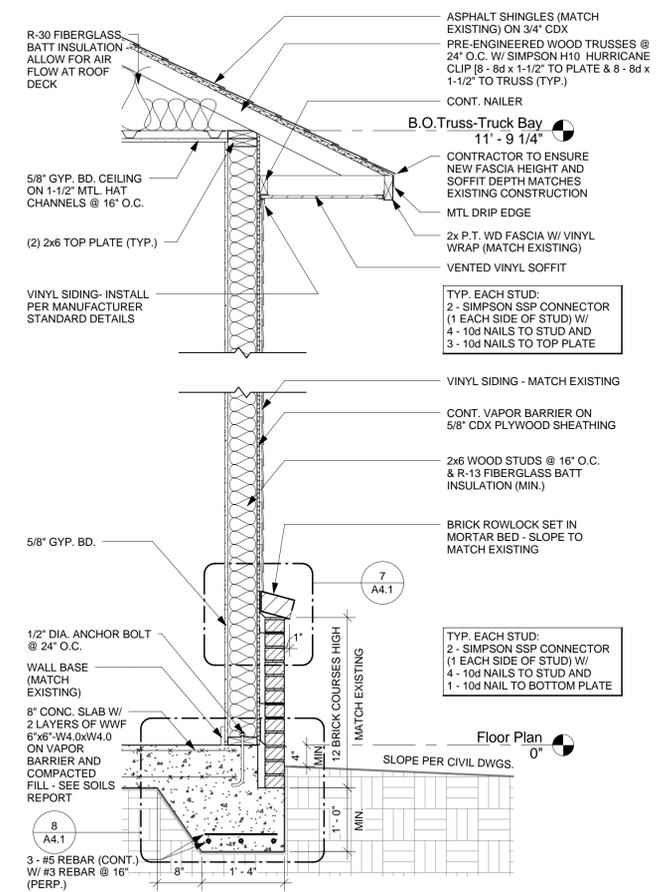
A1.2
225 South Adams St, Tallahassee, FL 32301
Phone 850 224-6301 Fax 850 561-6978



7 Brick Sill Detail
A4.1 3" = 1'-0"

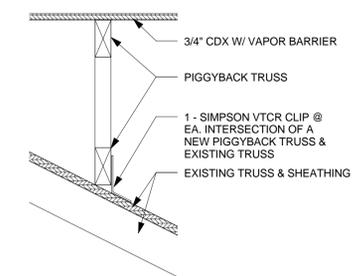


4 Beam Section & Connection @ Porch
A4.1 1 1/2" = 1'-0"

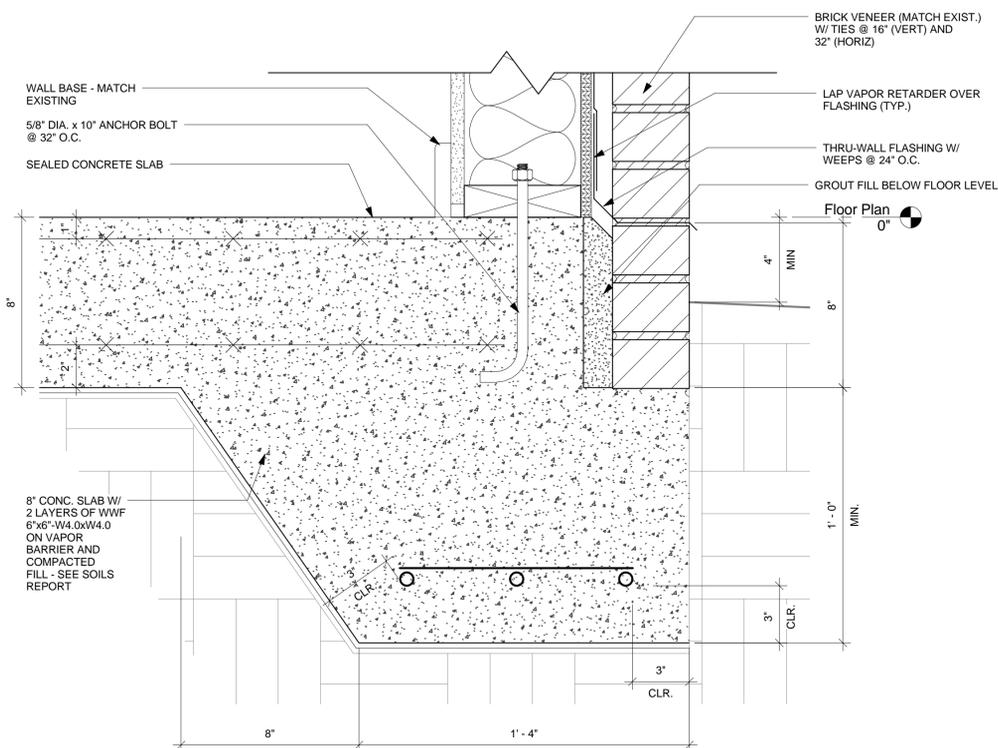


1 Typical Wall Section @ Truck Bay
A4.1 3/4" = 1'-0"

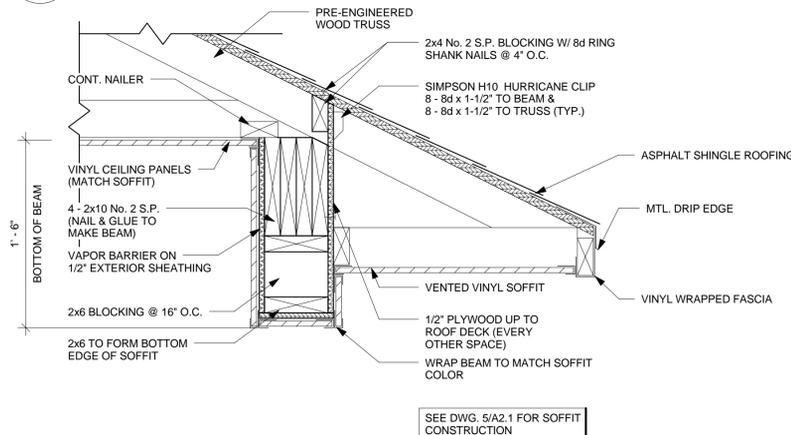
NOTE: ALL EXTERIOR COMPONENTS SHALL PROVIDE FLORIDA PRODUCT APPROVAL CERTIFICATION UPON REQUEST



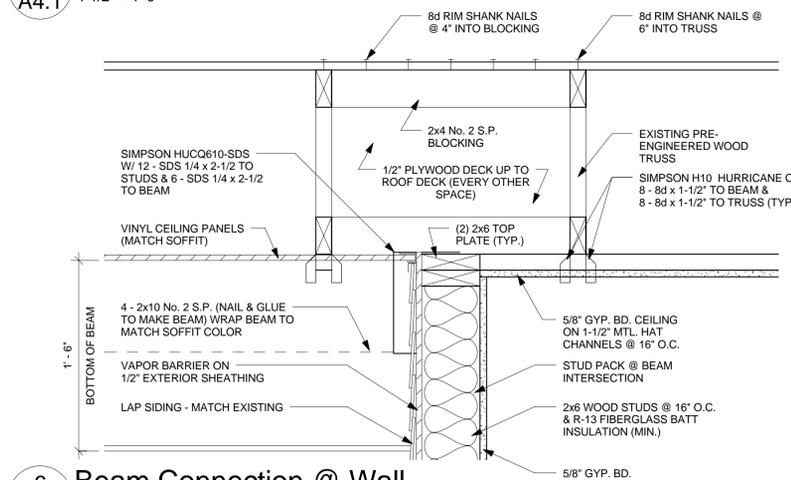
2 New Piggy Back Truss to Existing Roof
A4.1 1 1/2" = 1'-0"



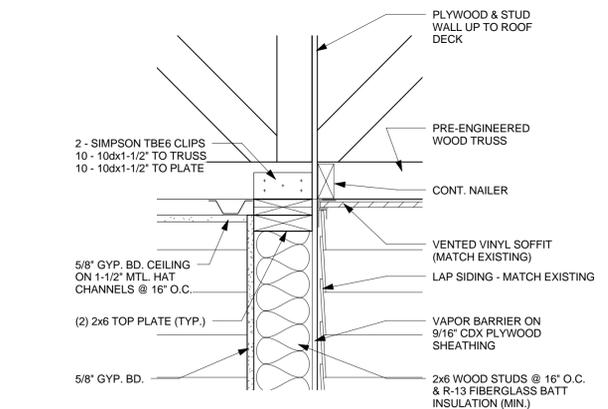
8 Sill Detail
A4.1 3" = 1'-0"



5 Typical Beam & Soffit @ Porch
A4.1 1 1/2" = 1'-0"



6 Beam Connection @ Wall
A4.1 1 1/2" = 1'-0"



3 Wall Section @ Porch
A4.1 1 1/2" = 1'-0"



Leon County - Chaires Fire Station Addition

11000 Drawn By: JH2
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14 April 2011
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Construction Documents

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7	
8	

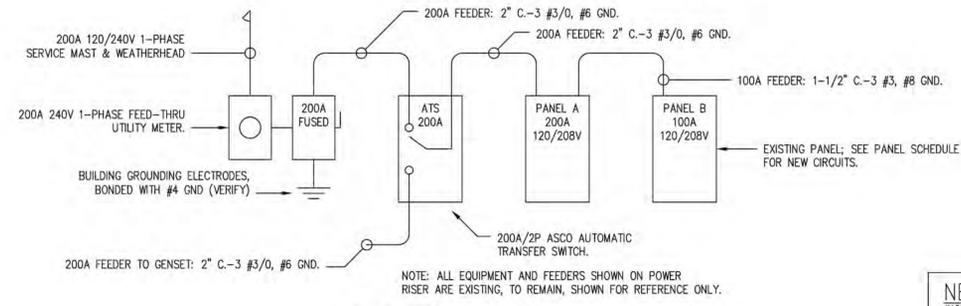
Wall Sections and Details

OPTION 2

Tallahassee Florida

A4.1

225 South Adams St, Tallahassee, FL 32301
Phone 850 224-6301 Fax 850 561-6978



POWER RISER

SCALE: 1/4" = 1' - 0"

NET LOAD SUMMARY:

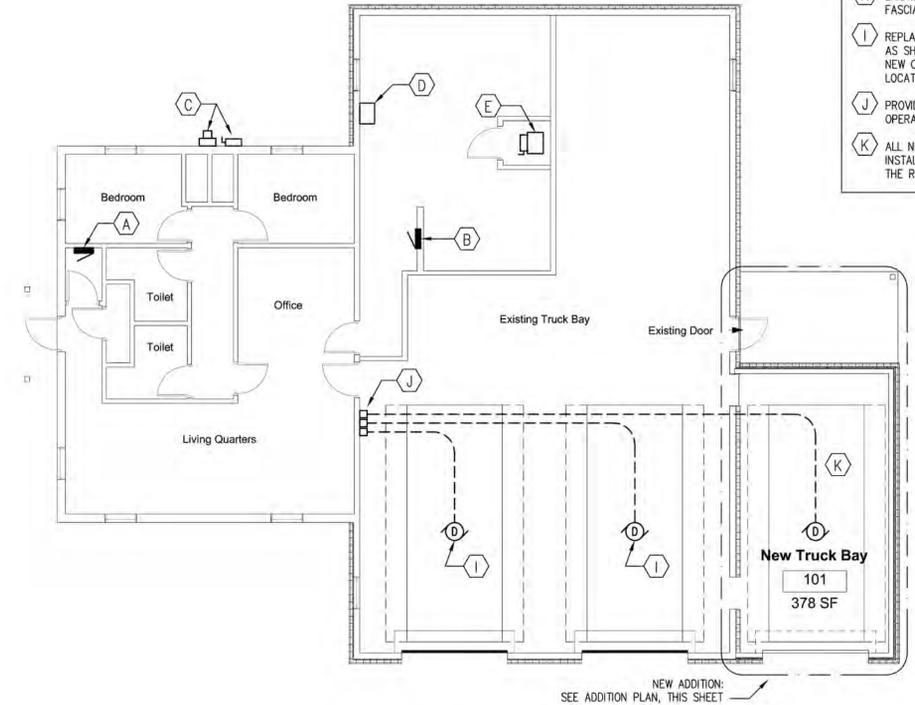
INCREASED LOAD:	
NEW LIGHTING	320 VA
NEW UNIT HEATER	1500 VA
NEW DOOR OPERATOR	1200 VA
NEW RECEPTACLES	1260 VA
DECREASED LOAD:	
REDUCED AHU HEAT STRIPS	(5000 VA)
NET LOAD REDUCTION:	720 VA (REDUCED)

PANEL: B (EXISTING)
 MAIN: 100A M.L.O.
 SERVICE: 120/240V, 1Ø, 3W
 LOCATION: SEE PLAN
 RATING: 10,000 AIC
 TYPE: NEMA-1, RECESSED

CKT	DESCRIPTION	BKR	P	LOAD (KVA)		BKR	P	DESCRIPTION	CKT
				A	B				
1	HEAT PUMP	20	2	-	-	35**	2	AHU	2
3		-	-	-	-	-	-		4
5	BEDROOM	20	1	-	-	20	1	BEDROOM (AFCI)	6
7	OUTSIDE GFI / WALLPACK	20	1	-	-	20	1	GARAGE GFI	8
9	COUNTERTOP RECEPT	20	1	-	-	15	1	EXISTING LOAD	10
11	COUNTERTOP RECEPT	20	1	-	-	-	-	SPACE	12
13	VFD GARAGE HEATER	20**	1	-	-	-	-	SPACE	14
15	VFD DOOR OPERATOR	20**	1	-	-	-	-	SPACE	16
17	VFD LIGHTS	20**	1	-	-	-	-	SPACE	18
19	VFD RECEPTS	20**	1	-	-	-	-	SPACE	20
21	VFD RECEPTS	20**	1	-	-	-	-	SPACE	22
23	SPACE	-	-	-	-	-	-	SPACE	24

* - CHANGE EXISTING 60A/2P TO 35A/2P.
 ** - INDICATES NEW LOAD; PROVIDE NEW BREAKER.

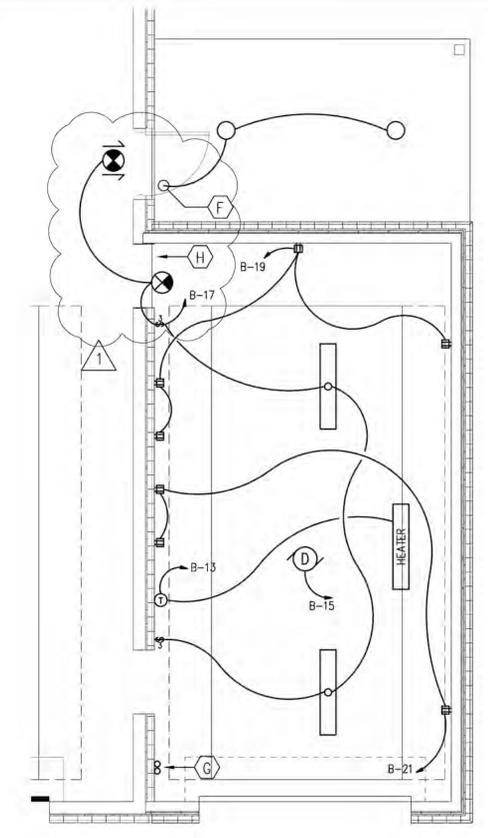
- WORK NOTES:**
 (SHOWN FOR REFERENCE ONLY)
- A EXISTING 200A 120/240V PANEL A, TO REMAIN.
 - B EXISTING 100A 120/240V PANEL B. PROVIDE NEW BREAKERS AS INDICATED; SEE PANEL SCHEDULE.
 - C EXISTING FEED-THRU UTILITY METER AND SERVICE DISCONNECT.
 - D EXISTING 200A 240V 2-POLE AUTOMATIC TRANSFER SWITCH, IN NEMA-1 ENCLOSURE.
 - E EXISTING 2-TON AHU, WITH 10KW HEAT STRIPS. CHANGE-OUT EXISTING HEAT STRIPS TO 5KW.
 - F CIRCUIT NEW EXTERIOR LIGHTING TO EXISTING EXTERIOR LIGHTING CIRCUIT.
 - G EXISTING FUEL PUMP SUPPLY FEEDERS, IN CONDUIT. PROTECT DURING CONSTRUCTION.
 - H EXISTING COMMUNICATIONS ANTENNA, MOUNTED TO FASCIA; RELOCATE, AS NEEDED, FOR NEW CONSTRUCTION.
 - I REPLACE EXISTING DOOR OPERATOR WITH NEW OPERATOR, AS SHOWN. RECONNECT TO EXISTING CIRCUIT. INSTALL NEW CONTROL CABLING IN RACEWAY. FIELD VERIFY EXISTING LOCATION.
 - J PROVIDE NEW DOOR OPERATOR CONTROLS FOR (3) DOOR OPERATORS. INSTALL 48" A.F.F.
 - K ALL NEW WIRING IN VEHICLE BAY AREAS SHALL BE INSTALLED ABOVE 18" A.F.F. AND SHALL COMPLY WITH THE REQUIREMENTS OF NEC ARTICLE 511.



BUILDING PLAN
 SCALE: 1/8" = 1' - 0"

LEGEND

\$	NEW 20A/120V QUIET-TYPE SNAP-SWITCH. MOUNT 48" A.F.F. TO TOP. PROVIDE STAINLESS COVERPLATE. *3* INDICATES 3-WAY SWITCH.
⏏	NEW 20A/120V DUPLEX RECEPTACLE WITH INTEGRAL GFI PROTECTION. MOUNT 24" A.F.F. TO BOTTOM. PROVIDE STAINLESS COVERPLATE.
T	NEW LINE-VOLTAGE 120V/20A THERMOSTAT. MOUNT 48" A.F.F. TO TOP.
⦿	NEW 4-LAMP SURFACE-MOUNTED INDUSTRIAL LIGHTING FIXTURE, WITH REFLECTOR, MOUNTED TO CEILING. H.E. WILLIAMS #82-4-432-CT-EB4, OR APPROVED EQUAL.
○	NEW RECESSED 6" OPEN CAN LIGHTING FIXTURE. WILLIAMS #FV60-1260-CS-EB1, OR APPROVED EQUAL.
⊗	NEW LED-TYPE EXIT SIGN. MCPHILBEN #CXXL3RW-DR, OR APPROVED EQUAL.
D	NEW GARAGE DOOR OPERATOR, EQUAL TO LIFTMASTER MODEL GT 120V, 1/2 HP. PROVIDE CONTROLS AND SENSORS AS REQUIRED FOR A COMPLETE INSTALLATION.
HEATER	NEW VEHICLE BAY COMFORT HEATER (120V/1500W), EQUAL TO FOSTORIA #0CH-46-120V. PROVIDE ADJUSTABLE MOUNTING BRACKETS.
▭	EXISTING ELECTRICAL PANEL.
—	CONDUCTORS IN CONDUIT OR CABLE, CONCEALED IN WALLS OR CEILING. MINIMUM CONDUCTOR SIZE #12AWG, CU. PROVIDE INSULATED GREEN EQUIPMENT GROUNDING CONDUCTOR, SIZED PER NEC, IN ALL RACEWAYS. RACEWAY TO BE METALLIC, 3/4" MINIMUM. MC/MM CABLE NOT ALLOWED.
—	NEW DOOR OPERATOR CONTROL CABLING IN RACEWAY, CONCEALED IN WALLS OR CEILING.



ADDITION PLAN
 SCALE: 1/4" = 1' - 0"



Leon County - Chaires Fire Station Addition

11000 Drawn By: JML
 Project Code Checked By: JML
 14 April 2011
 Date
 Construction Documents

Revisions

△	6/21/11 - RESP TO LC COMMENTS
△	
△	
△	
△	
△	
△	

Electrical Plan

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