



1           WHEREAS, amendments to the applicable provisions of Chapter 10 will be required to  
2 maintain consistency with the proposed amendments to the Bradfordville Sector Plan; and,

3           WHEREAS, the proposed amendments to the Bradfordville Sector Plan and to Chapter  
4 10 are the result of the Board’s desire to complete a Development Agreement pursuant to  
5 Chapter 163 of the Florida Statutes; and,

6           WHEREAS, the Board desires to enter into a Chapter 163, F.S. Development Agreement  
7 to facilitate the intent of the Bradfordville Sector Plan specifically at it relates to  
8 the incorporation of walkability, mixed-use development including residential, and new  
9 urbanism design components into the commercial and village center areas of Bradfordville  
10 including the provision of a new passive park adjacent to the relocated historic Bradfordville  
11 School House which services as a community center; and,

12 BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF LEON  
13 COUNTY, FLORIDA, that:

14  
15 **SECTION 1.** The Bradfordville Sector Plan is hereby amended by revising Figure 12,  
16 “Commercial Future Development Concept” map of the Sector Plan, to adjust a portion of the  
17 area designated as “Commercial Overlay Zone 1” to include the parcels located on the north side  
18 of the right-of-way of Bannerman Road, as depicted in Exhibit “A”, as amended, and attached  
19 hereto and incorporated by reference, in the “Commercial Overlay Zone 1” designation and the  
20 removal of those referenced properties from the “Commercial Mixed Use Overlay Zone 2”  
21 designation likewise.

22 Figure 12 of the Bradfordville Sector Plan is also amended to include additional parcels and/or  
23 portions thereof on the south side of Bannerman Road, as depicted in Exhibit “A”, as amended,

1 and attached hereto and incorporated by reference, in the "Commercial Overlay Zone 1"  
2 designation.

3  
4 **SECTION 2.** A portion of Section 10-6.678 of Article VI of Chapter 10 of the Code of Laws of  
5 Leon County, Florida, entitled "Bradfordville Scenic Overlay district" is hereby amended as  
6 follows:

7  
8 **Sec. 10-6.678. Bradfordville Scenic Overlay district.**  
9

10 (a) *Purpose and intent.* The scenic overlay district applies to unique natural environments within  
11 Leon County that warrant special protection. The district protects identified scenic viewsheds  
12 from development that would reduce property values and threaten natural resources through  
13 unnecessary destruction of vegetation.

14 (b) *Applicability.* The scenic overlay district shall apply to the following areas:

15 (1) *Lake McBride.* The provisions of the Lake McBride scenic overlay district shall apply to  
16 all development within the Lake Viewshed Overlay as designated in Figure 12 of the  
17 Bradfordville Sector Plan surrounding Lake McBride, except the following:

18 a. Construction or alteration of an accessory structure to a single-family, single-family  
19 attached, or duplex residential structure if:

20 1. Not more than one principal residential structure is maintained on a legal lot or  
21 tract; and

22 2. The proposed improvement is not located in zone "A" of the Lake McBride  
23 Special Development Zone;

24 b. Interior alteration of an existing building that does not increase the square footage,  
25 area, or height of the building;

26 c. Construction of a fence that does not obstruct the flow of water;

27 d. Clearing an area up to 15 feet wide for surveying and testing, unless a tree more than  
28 12 inches in diameter is to be removed;

29 e. Restoration of a damaged building that begins within 12 months of the date of the  
30 damage provided that the reconstruction does not increase the lot area or the  
31 impervious coverage or height of the building prior to its damage;

32 f. Enclosure of an existing staircase or porch;

33 g. Construction of an uncovered wooden ground level deck up to 5,000 square feet in  
34 size;

35 h. Replacement of a roof where the building with the new roof will not exceed building  
36 height limits;

37 i. Remodeling of an exterior facade if construction is limited to the addition of columns  
38 or awnings for windows or entrance ways;

39 j. A sidewalk constructed on existing impervious cover;

1 k. Modification of up to 3,000 square feet of a building or impervious cover on a  
2 developed site to make facilities accessible for persons with disabilities.

3 (c) *Development guidelines.* Development within the scenic overlay district shall comply with  
4 the following standards:

5 (1) *Building height.* Buildings in commercial, office and service districts shall not exceed 30  
6 feet in height as measured from average grade. No other nonresidential structures shall  
7 exceed 45 feet in height.

8 (2) *Building finish.* Buildings and roofs shall be finished with non-reflective surfaces.

9 (3) *Clearing.* No tree with a diameter of 12 inches DBH or greater shall be removed within  
10 the scenic overlay district without the written approval of the ~~director in the church or~~  
11 ~~residential area as designated in the Lauder 163 Agreement as recorded in the public~~  
12 ~~record~~ County Administrator or designee.

13 (4) *Lighting.* Lighting fixtures shall direct light downward and shall not be mounted at a  
14 height in excess of 30 feet. The projected cone of light from a fixture shall not exceed  
15 120 degrees. All lighting fixtures for nonresidential development shall be designed so  
16 that the source of light is not directly visible from the lake.

17 (5) *Additional buffers.* The property ~~designated church and residential in the Lauder 163~~  
18 ~~Agreement as recorded~~ within the scenic overlay district, shall be surrounded by a 25-  
19 foot wide vegetative buffer, broken only by authorized access points.

20 (6) ~~Density.~~ ~~The property designated church and residential in the Lauder 163 Agreement as~~  
21 ~~recorded, shall be limited to a residential density not to exceed one unit per three acres.~~

22 (*Ord. No. 07-20, § 2, 7-10-07*)

23  
24 **SECTION 3.** The Official Zoning Map as adopted in Leon County Ordinance No. 92-11 is  
25 hereby amended as it pertains to the following described real property:

26  
27 PRZ130011: From Residential Acre (RA), Bradfordville Commercial-Pedestrian Oriented (BC-2) and  
28 Bradfordville Office Residential (BOR) to Bradfordville Commercial-Auto Oriented (BC-1), and Single-  
29 and Two-Family Residential (R-3)

30  
31 **LEGAL DESCRIPTION:**

32  
33 **Bradfordville Office Residential (BOR) to Bradfordville Commercial – Auto Oriented (BC-1)**

34  
35 A Parcel of land lying in Section 22, Township 2 North, Range 1 East, Leon County, Florida being more  
36 particularly described as follows:

37  
38 COMMENCE at the Northeast corner of Lot 1 of Bannerman Corner, a subdivision as per map or plat  
39 thereof recorded in Plat Book 16, Page 42 of the Public Records of Leon County, Florida, said point lying  
40 on the southerly right-of-way boundary of Bannerman Road, thence along said right-of-way South 37  
41 degrees 59 minutes 59 seconds East 184.85 feet to the POINT OF BEGINNING. From said POINT OF  
42 BEGINNING continue South 37 degrees 59 minutes 59 seconds East 9.09 feet; thence South 38 degrees  
43 14 minutes 02 seconds East 415.30 feet; thence leaving said right-of-way run South 51 degrees 42  
44 minutes 30 seconds West 794.21 feet; thence North 38 degrees 16 minutes 41 seconds West 425.47 feet;

1 thence North 51 degrees 47 minutes 09 seconds East 794.57 feet to the POINT OF BEGINNING,  
2 containing 7.75 acre, more or less.

3  
4 **Residential Acre (RA) to Bradfordville Commercial – Auto Oriented (BC-1)**

5  
6 A Parcel of land lying in Section 22, Township 2 North, Range 1 East, Leon County, Florida being more  
7 particularly described as follows:

8  
9 Begin at the Northeast corner of Lot 6 of Bannerman Corner, a subdivision as per map or plat thereof  
10 recorded in Plat Book 16, Page 42 of the Public Records of Leon County, Florida and run South 50  
11 degrees 50 minutes 12 seconds West along the North boundary of said Lot 6 a distance of 46.95 feet,  
12 thence leaving said northerly boundary of Lot 6 run North 39 degrees 09 minutes 48 seconds West 186.58  
13 feet,thence North 58 degrees 12 minutes 51 seconds West 292.50 feet,thence North 38 degrees 12 minutes  
14 51 seconds West 132.02 feet, thence North 51 degrees 47 minutes 09 seconds East 225.38 feet, thence  
15 South 38 degrees 16 minutes 41 seconds East 425.47 feet,thence North 51 degrees 42 minutes 30 seconds  
16 East 194.19 feet, to a point lying on the Southwesterly boundary of Lot 3 of said Bannerman Corner,  
17 thence South 38 degrees 13 minutes 38 seconds East along said Southwesterly boundary and a projection  
18 thereof a distance of 1340.15 feet to a point lying on the Westerly right of way boundary of Thomasville  
19 Road and a curve concave Southeasterly, thence Southwesterly along said right of way and said curve  
20 having a radius 5804.65 feet through a central angle of 02 degrees 48 minutes 44 seconds for an arc  
21 length of 284.90 feet (chord bears South 33 degrees 10 minutes 16 seconds West 284.88 feet) to a point  
22 marking the Southeast corner of said Lot 6, thence leaving said right of way boundary run North 38  
23 degrees 13 minutes 41 seconds West along the Easterly boundary of said Lot 6 a distance of 1263.63 feet  
24 to the POINT OF BEGINNING, containing 10.61 acres, more or less.

25  
26 **Bradfordville Office Residential (BOR) to Single- and Two-Family Residential (R-3)**

27  
28 A Parcel of land lying in Section 22, Township 2 North, Range 1 East, Leon County, Florida being more  
29 particularly described as follows:

30  
31 BEGIN at the Northeast corner of Lot 1 of Bannerman Corner, a subdivision as per map or plat thereof  
32 recorded in Plat Book 16, Page 42 of the Public Records of Leon County, Florida, said point lying on the  
33 southerly right-of-way boundary of Thomasville Road, thence run along said right-of-way boundary  
34 South 37 degrees 59 minutes 59 seconds East 184.85 feet; thence leaving said right-of-way boundary run  
35 South 51 degrees 47 minutes 09 seconds West 794.57 feet; thence North 38 degrees 16 minutes 41  
36 seconds West 183.94 feet; thence North 51 degrees 43 minutes 13 seconds East 795.47 feet to the POINT  
37 OF BEGINNING, containing 3.36 acres, more or less.

38  
39 **Residential Acre (RA) to Single- and Two-Family Residential (R-3)**

40  
41 A Parcel of land lying in Section 22, Township 2 North, Range 1 East, Leon County, Florida being more  
42 particularly described as follows:

43  
44 BEGIN at the Northeast corner of Lot 1 of Bannerman Corner, a subdivision as per map or plat thereof  
45 recorded in Plat Book 16, Page 42 of the Public Records of Leon County, Florida, said point lying on the  
46 southerly right-of-way boundary of Thomasville Road, thence run along said right-of-way boundary  
47 North 38 degrees 04 minutes 03 seconds West 636.10 feet; thence leaving said right-of-way boundary run  
48 South 51 degrees 42 minutes 52 seconds West 1559.38 feet; thence South 25 degrees 45 minutes 27  
49 seconds East 769.76 feet; thence South 24 degrees 02 minutes 34 seconds East 704.64 feet; thence North  
50 83 degrees 53 minutes 47 seconds East 459.67 feet; thence North 39 degrees 18 minutes 53 seconds West

1 256.96 feet; thence North 50 degrees 50 minutes 12 seconds East 594.44 feet; thence North 39 degrees 09  
2 minutes 48 seconds West 186.58;thence North 58 degree 12 minutes 51 seconds West 292.50 feet; thence  
3 North 38 degrees 12 minutes 51 seconds West 132.02 feet; thence North 51 degrees 47 minutes 09  
4 seconds East 225.38 feet; thence North 38 degrees 16 minutes 41 seconds West 183.94 feet; thence North  
5 51 degrees 43 minutes 13 seconds East 795.47 feet to the POINT OF BEGINNING, containing 40.59  
6 acres, more or less.

7  
8 **Bradfordville Commercial – Pedestrian Oriented (BC-2) to Bradfordville Commercial – Auto**  
9 **Oriented (BC-1)**

10  
11 A Parcel of land lying in Section 22, Township 2 North, Range 1 East Leon County, Florida being more  
12 particularly described as follows:

13  
14 Commence at a concrete monument marking the Northeast corner of Section 22, Township 2  
15 North, Range 1 East, Leon County, Florida, and run thence West along the Section Line 628.98  
16 feet; thence North 14 degrees 30 minutes West 391.0 feet; thence South 37 degrees 07 minutes  
17 West 260.0 feet; thence North 52 degrees 53 minutes West 1,381.40 feet to the East boundary of  
18 the West half of the Southwest Quarter of the Southeast Quarter of Section 15, Township 2 North,  
19 Range 1 East, Leon County, Florida; thence North 00 degrees 28 minutes East along said East  
20 boundary of 324.20 feet to the Northeast corner of the West half of the Southwest Quarter of the  
21 Southeast Quarter of said Section 15; thence North 89 degrees 32 minutes West along the North  
22 boundary of the Southwest Quarter of the Southeast Quarter of said Section 15 a distance of  
23 660.0 feet; thence South 00 degrees 28 minutes West along the West boundary of the Southeast  
24 Quarter of said Section 15 a distance of 660.0 feet to a permanent reference monument on the  
25 boundary of Killearn Lakes, Unit No.1, a subdivision as per map or plat thereof, recorded in Plat  
26 Book 6, Page 26 of the Public Records of Leon County, Florida; thence South 29 degrees 09  
27 minutes 19 seconds East along said South boundary a distance of 954.60 feet to the POINT OF  
28 BEGINNING. From said POINT OF BEGINNING continue South 29 degrees 09 minutes 19  
29 seconds East 57.82 feet, thence South 60 degrees 02 minutes 59 seconds East 466.71 feet, thence  
30 South 39 degrees 41 minutes 41 seconds West 1094.83 feet to a point lying on the Northerly right  
31 of way boundary for Bannerman Road, thence North 38 degrees 20 minutes 58 seconds West  
32 401.11 feet, thence leaving said right of way boundary run North 32 degrees 26 minutes 02  
33 seconds East 961.32 feet to the POINT OF BEGINNING, containing 10.48 acres, more or less.

34  
35 (see Exhibit A)

36  
37 **SECTION 4. Conflicts.** All ordinances or parts of ordinances in conflict with the provisions of  
38 this ordinance are hereby repealed to the extent of such conflict, except to the extent of any  
39 conflicts with the Tallahassee-Leon County Comprehensive Plan, as amended, which provisions  
40 shall prevail over any part of this ordinance which is inconsistent, either in whole or in part, with  
41 the said Comprehensive Plan.

42 **SECTION 5. Severability.** If any word, phrase, clause, section or portion of this ordinance  
43 shall be held invalid or unconstitutional by a court of competent jurisdiction, such portion or  
44 words shall be deemed a separate and independent provision and such holding shall not affect the  
45 validity of the remaining portions thereof.

46 **SECTION 6. Effective Date.** This ordinance shall have effect upon becoming law.

1 DULY PASSED AND ADOPTED by the Board of County Commissioners of Leon County,  
2 Florida, this 21st day of January, 2014.

LEON COUNTY, FLORIDA



3  
4  
5  
6 By: Kristin Dozier  
7 Kristin Dozier, Chairman  
8 Board of County Commissioners  
9

10 ATTEST:  
11 Bob Inzer, Clerk of the Circuit Court and Comptroller  
12 Leon County, Florida  
13

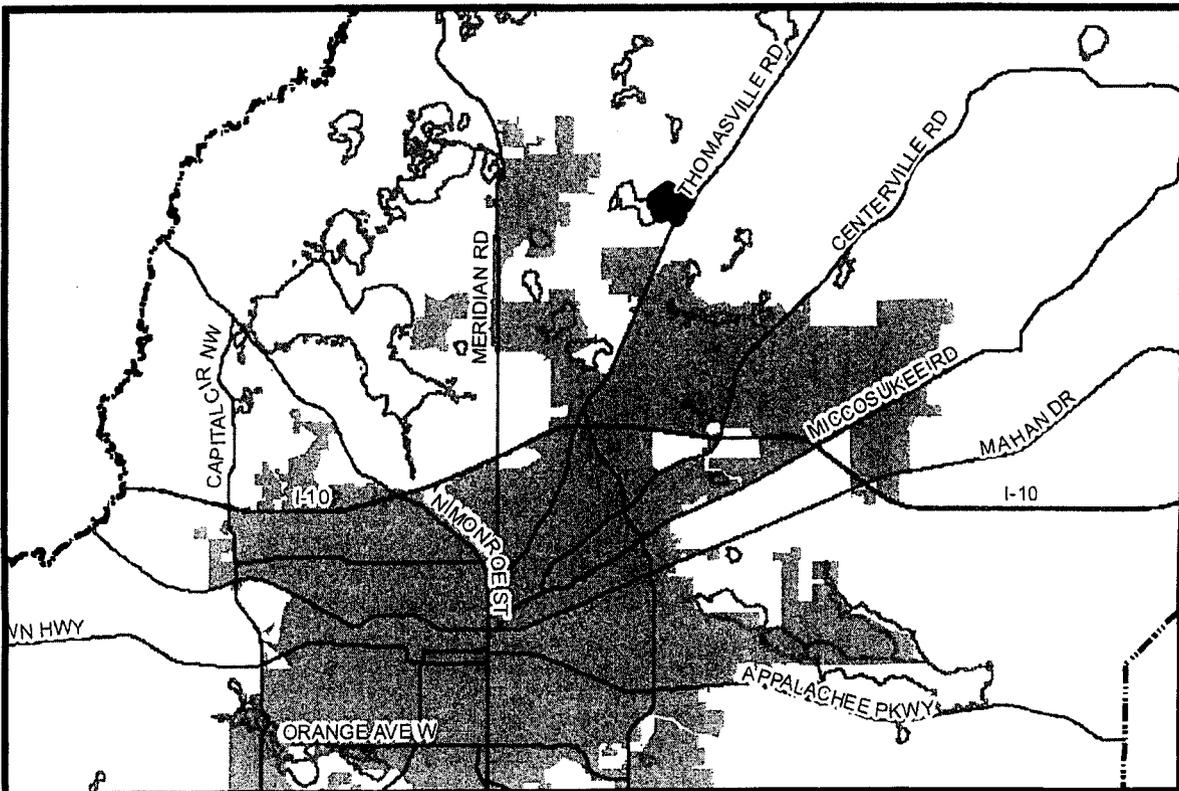
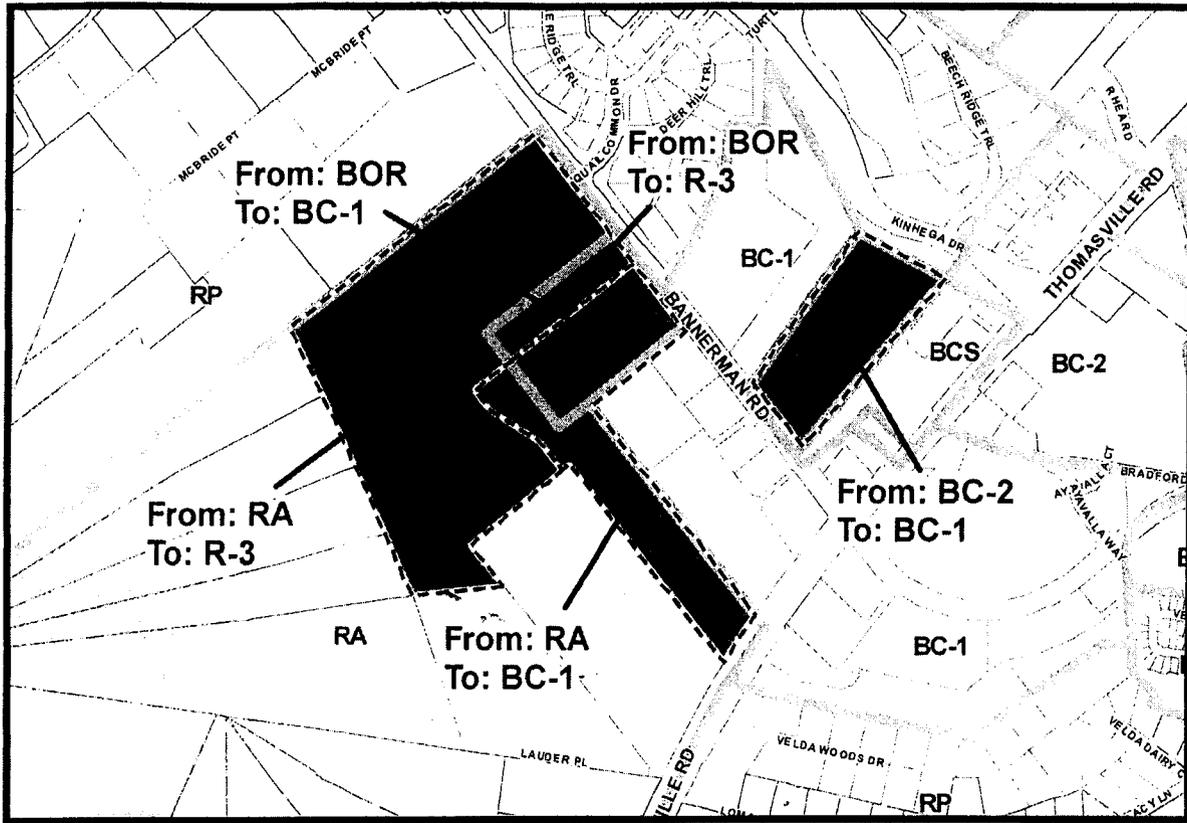
14  
15 By: John Stott  
16 Deputy Clerk  
17

18 APPROVED AS TO FORM:  
19 Leon County Attorney's Office  
20  
21  
22 By: Herbert W. A. Thiele  
23 Herbert W. A. Thiele, Esq.  
24 County Attorney  
25

# Exhibit "A"

## Bannerman Rezoning

PRZ #130011



GENERAL LOCATION MAP