

# FAIRBANKS FERRY EMERGENCY ACCESS ROAD

CDBG PROJECT: #10DB-K4-02-47-01-K21

**RECEIVED**  
APR 12 2011  
Growth & Environmental Management  
INTAKE *[Signature]*

PREPARED FOR:



Leon County Public Works  
2220 Alachua Road  
Tallahassee, Florida 32302  
(904) 626-4500

**GENERAL NOTES:**

1. ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON LIDAR DATA FROM THE TALLAHASSEE-LEON COUNTY GIS DEPARTMENT, SURVEY DATUM=NAVD 1983.
2. ALL GRADING FOR PLACEMENT OF CELLULAR CONFINEMENT SYSTEM SHALL ALLOW FOR PROPER DRAINAGE AS DIRECTED BY LEON COUNTY FIELD STAFF.
3. ALL ROADWAY AND DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2007, DIVISIONS II AND III.
4. AT THE PRECONSTRUCTION MEETING THE CONTRACTOR SHALL DESIGNATE A REPRESENTATIVE WHO IS CERTIFIED IN EROSION AND SEDIMENTATION CONTROL AND SHALL BE CAPABLE OF BEING REACHED 24 HOURS A DAY, 7 DAYS A WEEK.
5. THE CONTRACTOR WILL DESIGNATE A STORMWATER MANAGEMENT CONTROL OFFICER PRIOR TO THE PRECONSTRUCTION MEETING, AND WILL INFORM THE ENVIRONMENTAL INSPECTOR.
6. UTILITIES HAVE NOT BEEN LOCATED, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND PROVIDE FOR PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY SUNSHINE ONE CALL (1-800-485-8700), 48 HOURS PRIOR TO COMMENCEMENT OF EXCAVATION OR CONSTRUCTION.
7. ALL DISTURBED AREAS, THAT ARE NOT SODED OR LANDSCAPED SHALL BE SEEDED, FERTILIZED AND MULCHED, AS APPLICABLE UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS. PROBLEM AREAS SHALL BE SODED AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR. ALL DISTURBED AREAS WITH SLOPES 4% AND STEEPER SHALL BE COVERED WITH HYDROSEED.
8. REMOVE INVASIVE PLANTS WITHIN LIMITS OF CONSTRUCTION. INVASIVE PLANTS INCLUDE COON GRASS (IMPERATA CYLINDRICAL), AND BIMOSA (ALBIZIA URUBBERS). INVASIVE PLANTS SHOULD BE REPLACED WITH NATIVE SPECIES PLANTS.
9. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE LEON COUNTY ENVIRONMENTAL MANAGEMENT PERMIT.
10. THE CONTRACTOR SHALL MAINTAIN TRAFFIC IN ACCORDANCE WITH FOOT STANDARD INDEX NO. 60E AND 60S DURING WORK HOURS.
11. ACTUAL LOCATION OF EMERGENCY ACCESS ROAD SHALL BE FIELD ADJUSTED IN CONJUNCTION WITH LEON COUNTY FIELD STAFF AND SHALL BE PLACED AS FAR FROM PROTECTED TREES AS PRACTICAL.
12. CONTRACTOR SHALL LIMIT CONSTRUCTION TO LEON COUNTY EASEMENTS AND RIGHTS OF ENTRY.
13. CONSTRUCTION STAGING AREA IS TO BE DETERMINED BY THE CONTRACTOR IN COORDINATION WITH LEON COUNTY PUBLIC WORKS, PRIOR TO OR DURING THE PRE-CONSTRUCTION MEETING.
14. THE CONSERVATION EASEMENT LINES BE STAKED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. NO CONSTRUCTION ACTIVITY SHALL TAKE PLACE WITHIN THE WETLAND AND/OR CONSERVATION EASEMENT.

**INDEX OF SHEETS:**

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	KEY SHEET
3	TYPICAL SECTIONS
4-7	EROSION & EROSION CONTROL
8-9	SITE PLAN
10-13	CONSTRUCTION DETAILS

**EXHIBIT A**

GOVERNING STANDARDS AND SPECIFICATIONS:  
FLORIDA DEPARTMENT OF TRANSPORTATION,  
DESIGN STANDARDS DATED 800, AND  
STANDARD SPECIFICATIONS FOR ROAD AND  
BRIDGE CONSTRUCTION DATED 800, AS  
AMENDED BY CONTRACT DOCUMENTS.

**APPLICANT'S COPY**

**DEVELOPMENT SUMMARY:**

PROJECT BOUNDARY/EASEMENT AREA: 8679 SF  
PROPOSED IMPERVIOUS AREA: 0 SF

APPROVED *[Signature]*

PERMIT # LE111-00030

DATE 04-13-2010

Special Conditions Exist For This Permit. Refer to Exhibit(s):

Attachment A  
Exhibits B & C

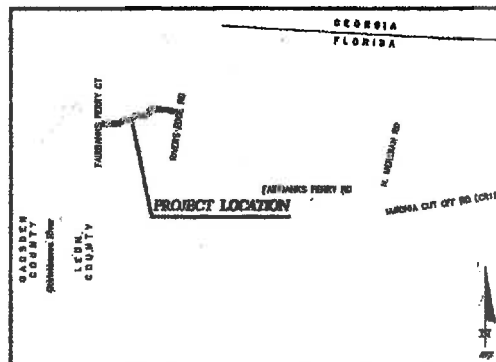
FILE

Engineer of Record  
**NORMAN F. ROBERTSON**  
P.E. # 18708

PRIMA, an Atkins Company  
2830 N. MONROE ST., BLDG C  
TALLAHASSEE, FL 32303  
(904) 575-1800

Certificate of Authorization No. 01

*[Signature]*  
4/11



LOCATION MAP

PREPARED BY:

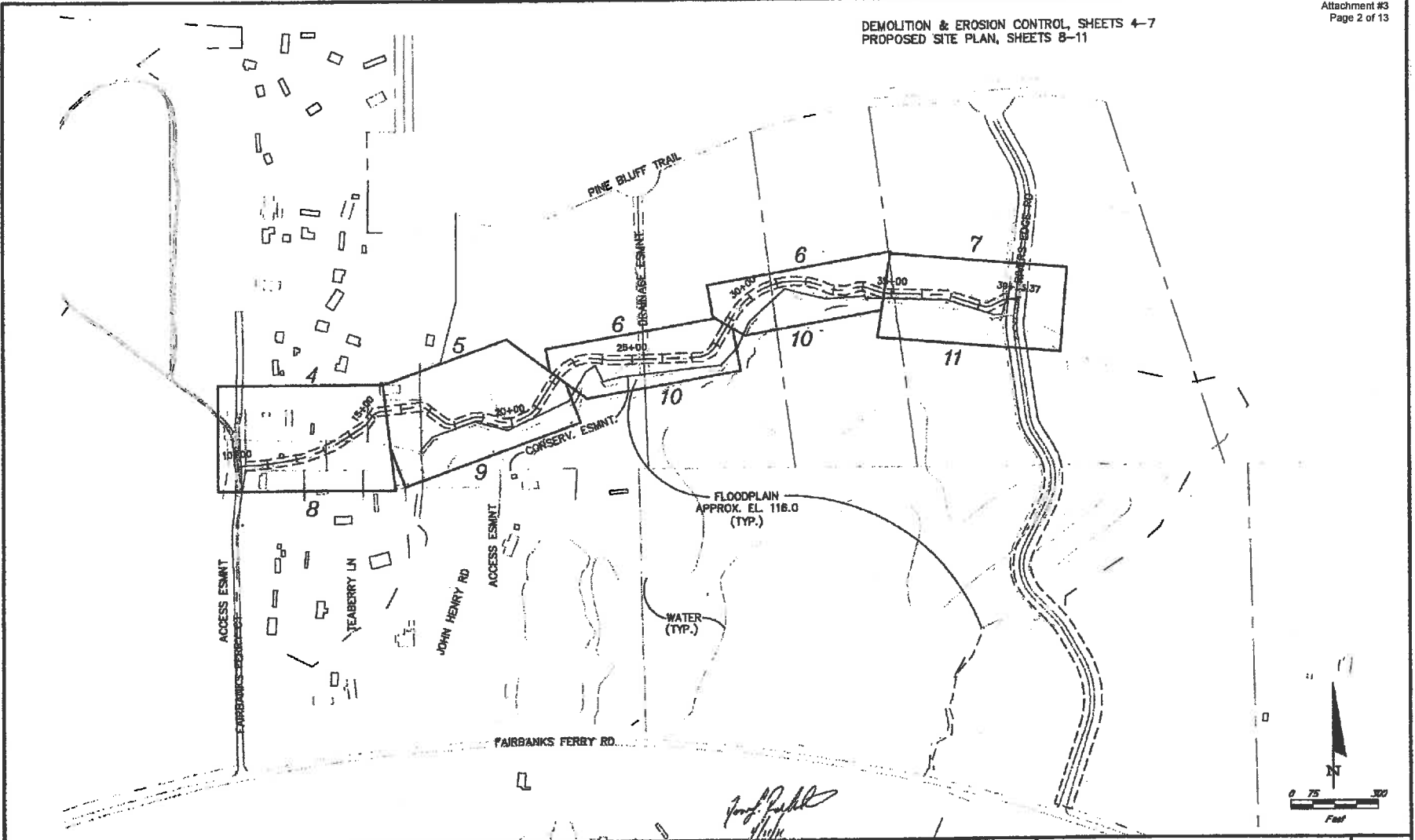
**ATKINS**

2830 N. Monroe St. Building C - Tallahassee, Florida 32303 - 850.575.1800  
PRPA Certificate of Authorization No. 24

APRIL 2011

SHEET  
NO.  
**1**

DEMOLITION & EROSION CONTROL, SHEETS 4-7  
PROPOSED SITE PLAN, SHEETS 8-11



REVISORS			
DATE	BY	DESCRIPTION	DATE

Register of Records  
**ATKINS**  
 8000 N. Arroyo St., Building C  
 Tallahassee, Florida 32303 - 850/935-1000  
 FPN Certificate of Authorization No. 20



**LEON COUNTY**  
 COUNTY ENGINEER  
 FAIRBANKS FERRY  
 EMERGENCY ACCESS ROAD

**KEY MAP**

SHEET NO.
2



**LEGEND**

- EXISTING TREES TO REMAIN
- (X) TREES TO BE REMOVED
- (D) DISEASED TREES TO BE REMOVED
- (O) TREES TO BE PERMITTED AS A TECHNICAL REMOVAL ARBORICULTURAL MITIGATION SHALL BE PROVIDED. SEE DETAIL 5, SHEET 12.
- STAKED TYPE IV SILT FENCE WITH HAY BALES
- TREE PROTECTION BARRICADE

**CONSTRUCTION SEQUENCE**

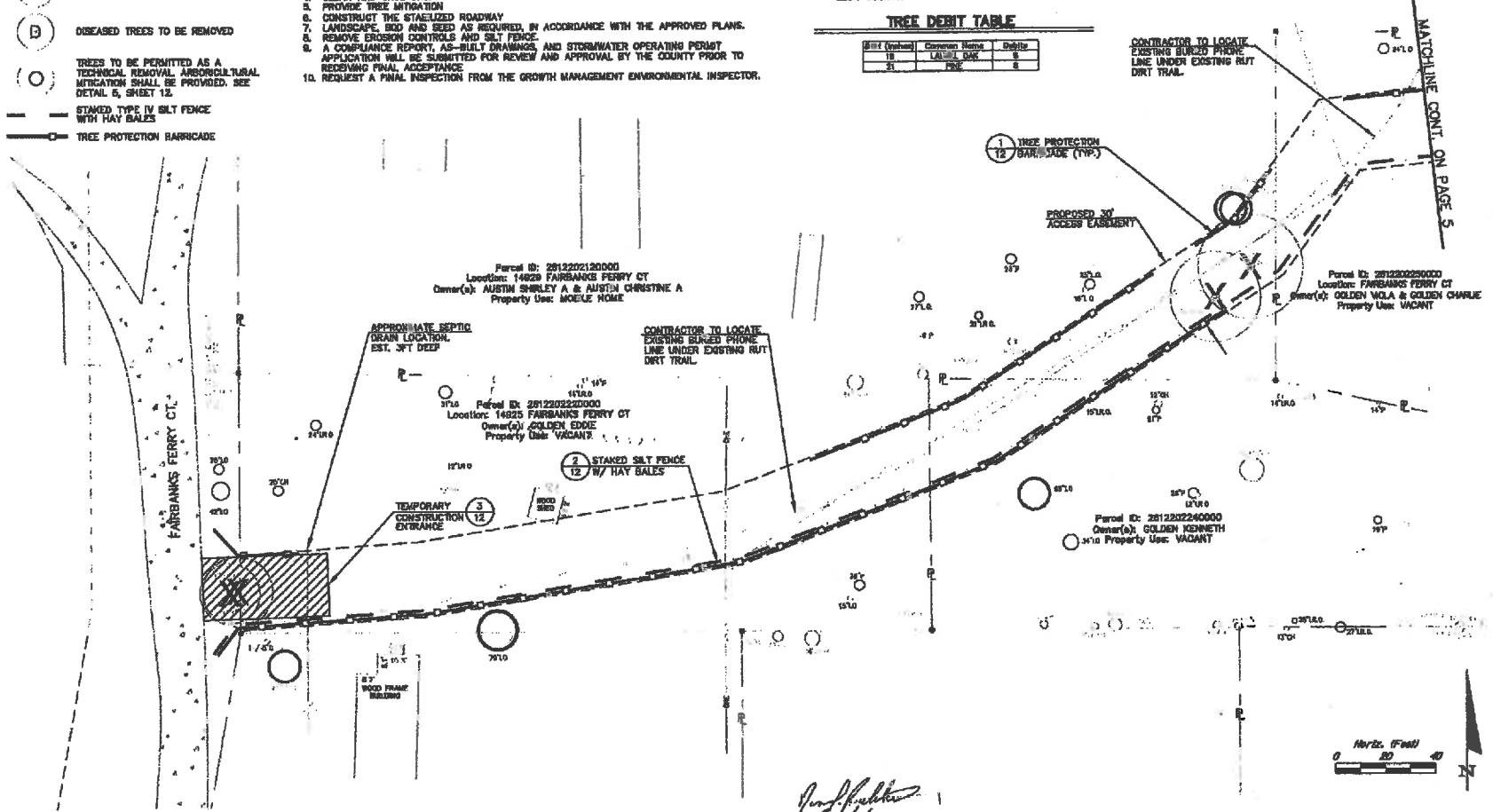
1. PRIOR TO BEGINNING CONSTRUCTION, A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH ALL RELEVANT PERMITTING AGENCIES INCLUDING LEON COUNTY GROWTH MANAGEMENT AND NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT.
2. LOCATE AND STAKE ALL PORTIONS OF THE CONSERVATION EASEMENT LINE WITHIN 30 FEET OF THE PROJECT AREA.
3. INSTALL EROSION CONTROLS AND TREE PROTECTION.
4. CLEAR AND GRUB SITE.
5. PROVIDE TREE MITIGATION.
6. CONSTRUCT THE STABILIZED ROADWAY.
7. LANDSCAPE, SOIL AND SEED AS REQUIRED, IN ACCORDANCE WITH THE APPROVED PLANS.
8. REMOVE EROSION CONTROLS AND SILT FENCE.
9. A COMPLIANCE REPORT, AS-BUILT DRAWINGS, AND STORMWATER OPERATING PERMIT APPLICATION WILL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE COUNTY PRIOR TO RECEIVING FINAL ACCEPTANCE.
10. REQUEST A FINAL INSPECTION FROM THE GROWTH MANAGEMENT ENVIRONMENTAL INSPECTOR.

**GENERAL NOTES**

1. THE EROSION AND SEDIMENT CONTROLS SHOWN ON THE PLANS ARE THE MINIMUM REQUIRED. ADDITIONAL MEASURES MAY BE REQUIRED BY THE ENVIRONMENTAL INSPECTOR TO CONTROL SEDIMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING EXCAVATED MATERIAL AT AN APPROVED OFF SITE LOCATION. STOCKPILE PERMITS MAY BE REQUIRED BY LEON COUNTY.

**TREE DEBIT TABLE**

Sheet Number	Common Name	Debit
18	LARGO OAK	8
21	PINE	8



**REVISIONS**

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

Signature of *[Handwritten Signature]*  
**ATKINS**  
 3220 N. Havana St., Building C  
 Tallahassee, Florida 32302 - 67037-0000  
 7871 University of North Florida Dr., St.

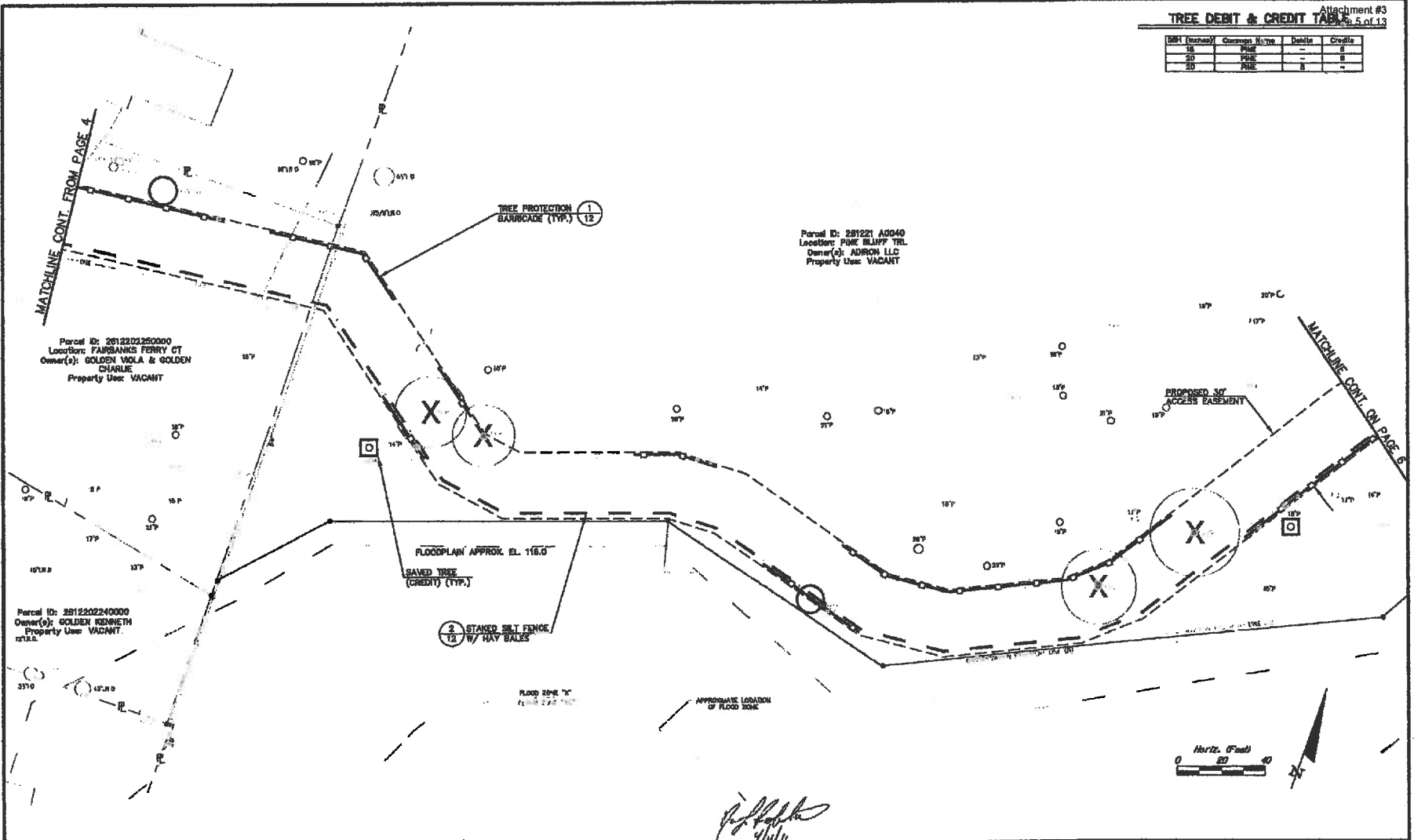


**LEON COUNTY**  
 CONSTRUCTION DEPARTMENT  
 FAIRBANKS FERRY  
 EMERGENCY ACCESS ROAD

**DEMOLITION & EROSION CONTROL**

**SHEET NO.**  
 4

DBI (Inches)	Common Name	Debit	Credit
20	PINE	-	5
20	PINE	5	-



REVISIONS			
DATE	BY	DESCRIPTION	DATE

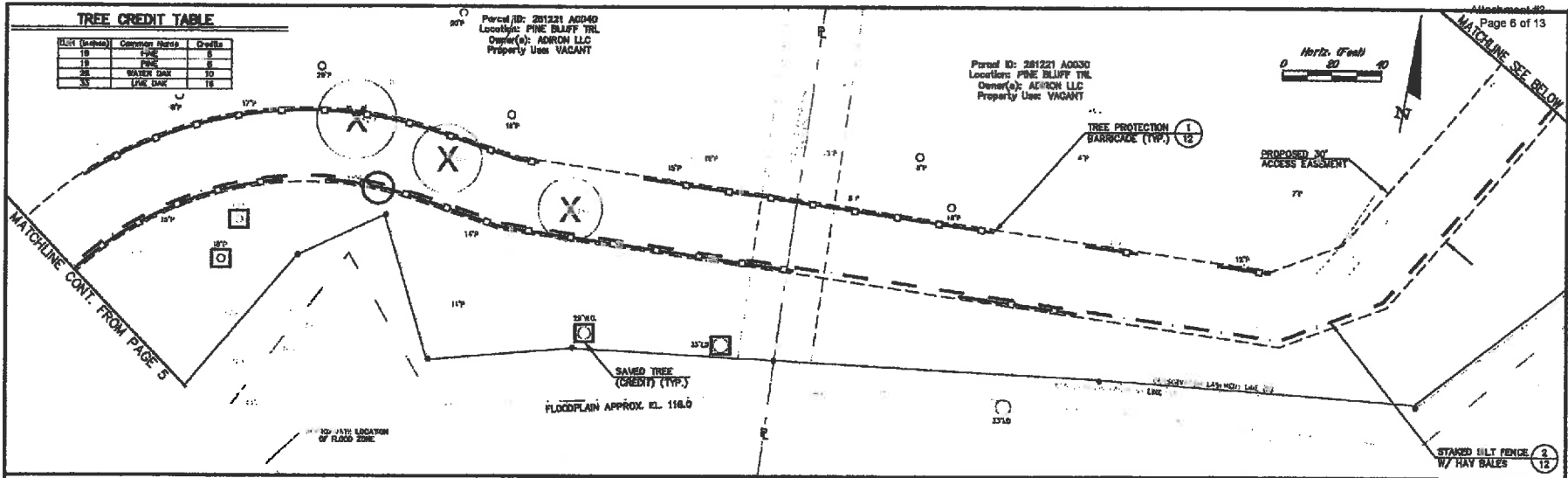
*John H. Atkins*  
**ATKINS**  
 2801 N. W. 11th St. #1000  
 Tallahassee, Florida 32310  
 Phone: (904) 833-1100  
 Fax: (904) 833-1101



**LEON COUNTY**  
 CONSTRUCTION DOCUMENTS DIV.  
 FAIRBANKS FERRY  
 EMERGENCY ACCESS ROAD

**DEMOLITION & EROSION CONTROL**

SHEET NO.  
**5**

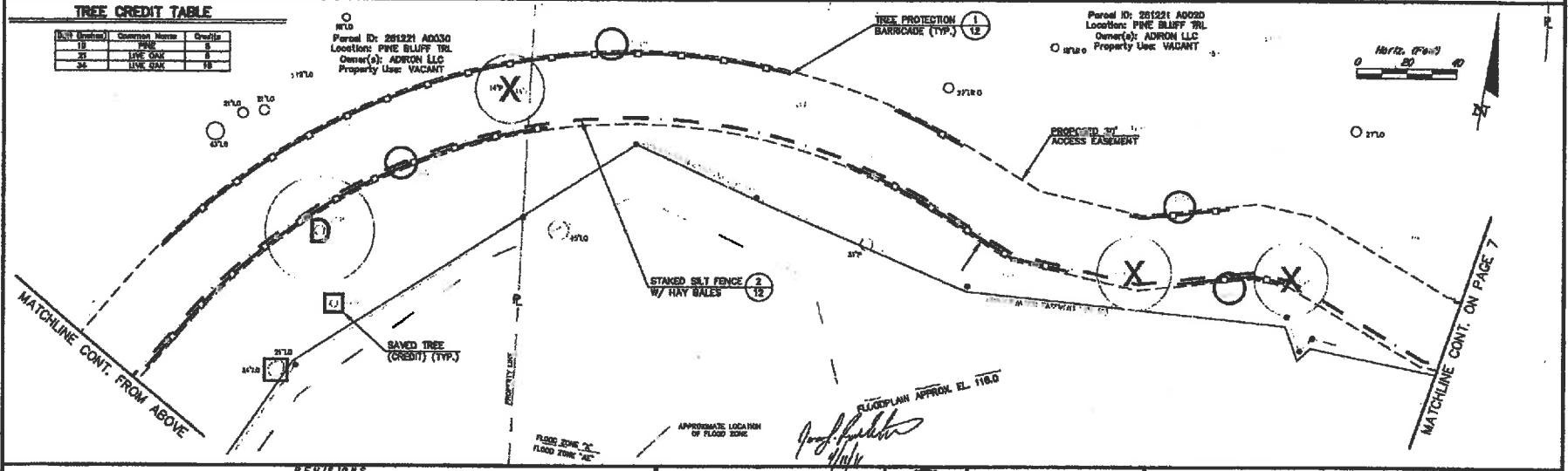


**TREE CREDIT TABLE**

BLT (Inches)	Common Name	Credits
10	PINE	5
15	PINE	8
20	WATER OAK	10
35	SLYK OAK	15

Parcel ID: 261221 AD040  
Location: PINE BLUFF TRL  
Owner(s): ADRON LLC  
Property Use: VACANT

Parcel ID: 261221 AD030  
Location: PINE BLUFF TRL  
Owner(s): ADRON LLC  
Property Use: VACANT



**TREE CREDIT TABLE**

BLT (Inches)	Common Name	Credits
10	PINE	5
15	PINE	8
20	WATER OAK	10
35	SLYK OAK	15

Parcel ID: 261221 AD030  
Location: PINE BLUFF TRL  
Owner(s): ADRON LLC  
Property Use: VACANT

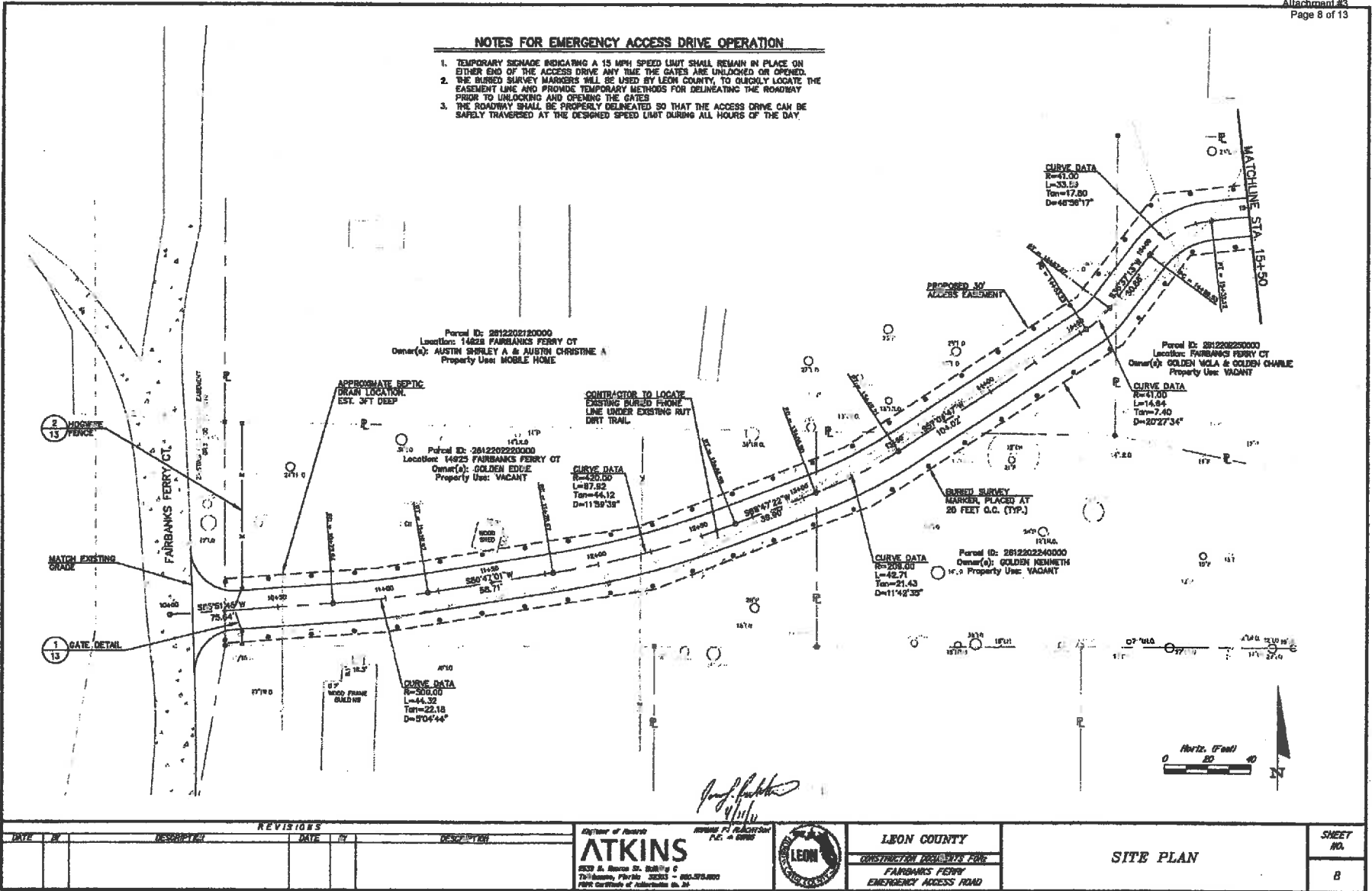
Parcel ID: 261221 AD030  
Location: PINE BLUFF TRL  
Owner(s): ADRON LLC  
Property Use: VACANT

<p>DATE BY DESCRIPTION</p>		<p>REVISIONS</p>		<p>DATE BY DESCRIPTION</p>		<p>Author of Record <b>ATKINS</b> 1730 N. Monroe St., Building C Tallahassee, Florida 32303 - 880.471.8000 Firm Certificate of Authorization No. 21</p>	<p>LEON COUNTY CONSTRUCTION DEPARTMENT FARMBANKS PERMIT EMERGENCY ACCESS ROAD</p>	<p>DEMOLITION &amp; EROSION CONTROL</p>	<p>SHEET NO. 6</p>
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**NOTES FOR EMERGENCY ACCESS DRIVE OPERATION**

1. TEMPORARY SIGNAGE INDICATING A 15 MPH SPEED LIMIT SHALL REMAIN IN PLACE ON EITHER END OF THE ACCESS DRIVE ANY TIME THE GATES ARE UNLOCKED OR OPENED.
2. THE BURIED SURVEY MARKERS WILL BE USED BY LEON COUNTY, TO QUICKLY LOCATE THE EASEMENT LINE AND PROVIDE TEMPORARY METHODS FOR DELINEATING THE ROADWAY PRIOR TO UNLOCKING AND OPENING THE GATES.
3. THE ROADWAY SHALL BE PROPERLY DELINEATED SO THAT THE ACCESS DRIVE CAN BE SAFELY TRAVELLED AT THE DESIGNED SPEED LIMIT DURING ALL HOURS OF THE DAY.



**REVISIONS**

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

City of Leon  
**ATKINS**  
 8530 N. Monroe St., Suite 100  
 Tallahassee, Florida 32303 - 981-370-8800  
 P&W Certificate of Authorization No. 34

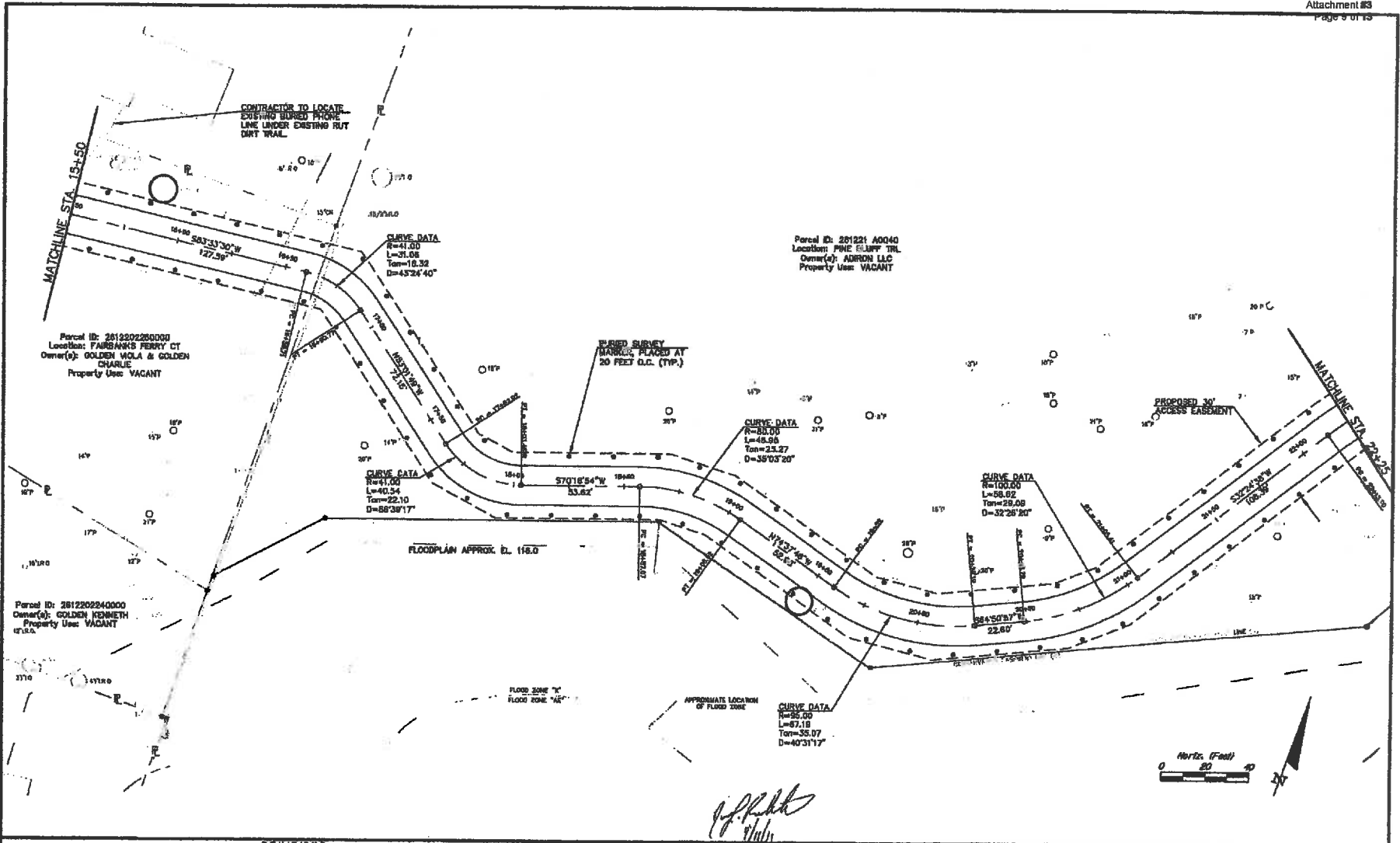


**LEON COUNTY**  
 CONSTRUCTION DESIGN DIVISION  
 FAIRBANKS FERRY  
 EMERGENCY ACCESS ROAD

**SITE PLAN**

SHEET NO.  
**8**





Parcel ID: 2612202260000  
Location: FAIRBANKS FERRY CT  
Owner(s): GOLDEN WOLA & GOLDEN CHARLIE  
Property Use: VACANT

Parcel ID: 261221 A0040  
Location: PINE BLUFF TRL  
Owner(s): ADRON LLC  
Property Use: VACANT

Parcel ID: 2612202340000  
Owner(s): GOLDEN KENNETH  
Property Use: VACANT  
U.S.A.

CURVE DATA  
R=41.00  
L=21.06  
Tan=18.32  
D=45°24'40"

BURIED SURVEY  
MARKS PLACED AT  
20 FEET O.C. (TIP.)

CURVE DATA  
R=41.00  
L=40.24  
Tan=22.10  
D=86°38'17"

CURVE DATA  
R=32.00  
L=48.98  
Tan=23.27  
D=35°03'20"

CURVE DATA  
R=100.00  
L=58.02  
Tan=33.08  
D=32°26'20"

CURVE DATA  
R=52.00  
L=87.18  
Tan=35.07  
D=40°31'17"

REVISIONS			
DATE	BY	DESCRIPTION	DATE

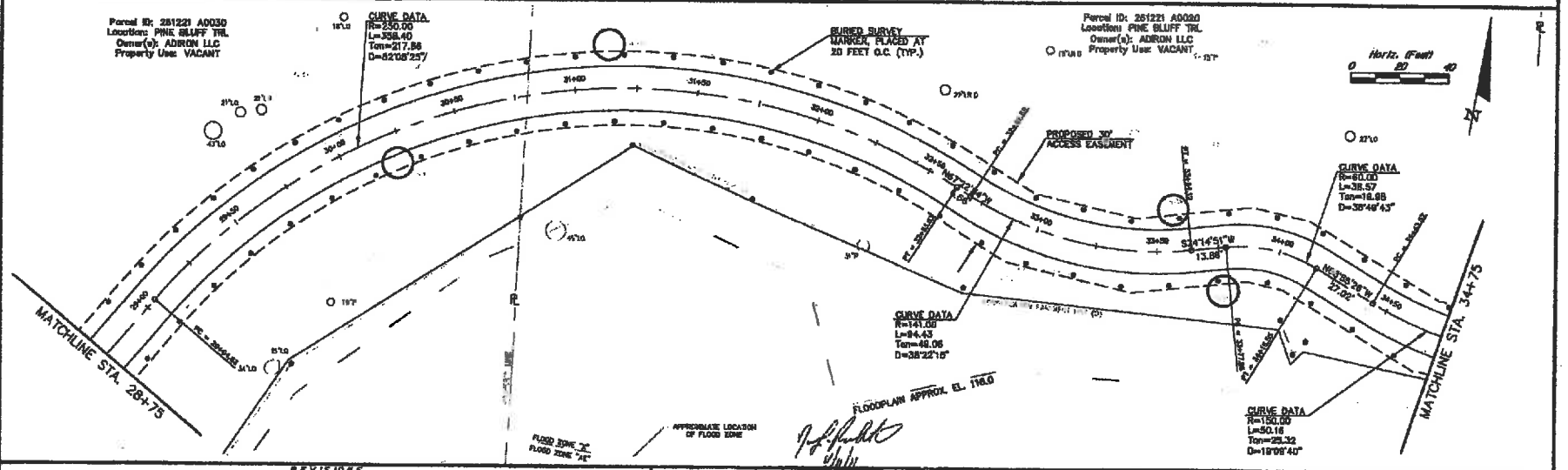
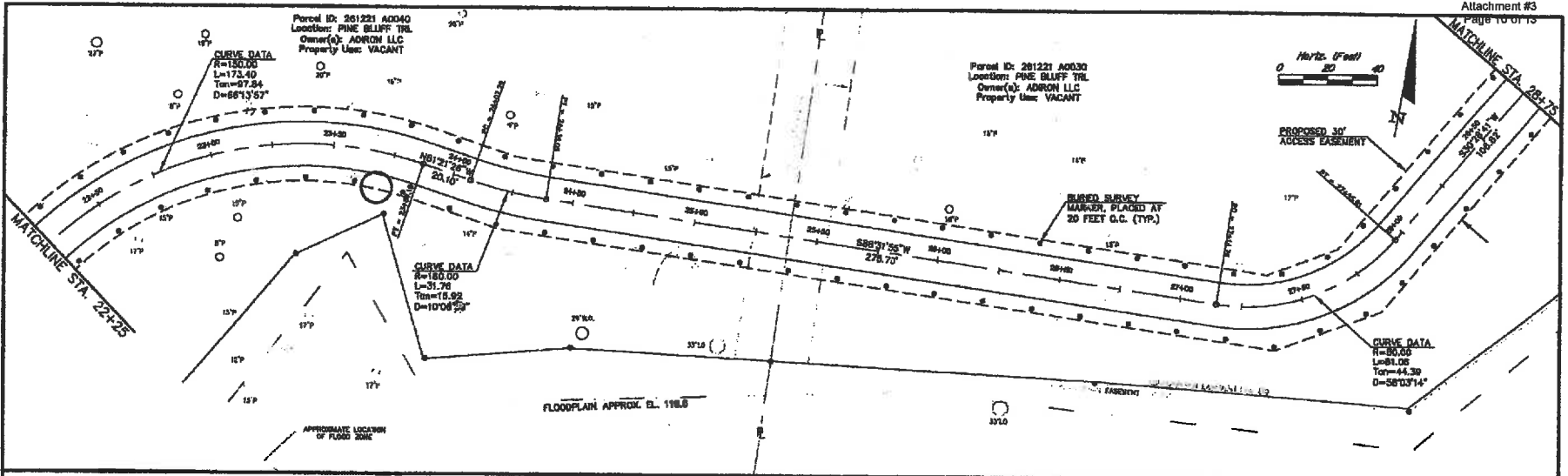
Engineer of Record  
**ATKINS**  
2525 E. Marco Dr. Building C  
Tallahassee, Florida 32303 - 850/515-8000  
P.E. Certificate of Registration No. 20



LEON COUNTY  
CONSTRUCTION DEPARTMENT FOR  
FAIRBANKS FERRY  
EMERGENCY ACCESS ROAD

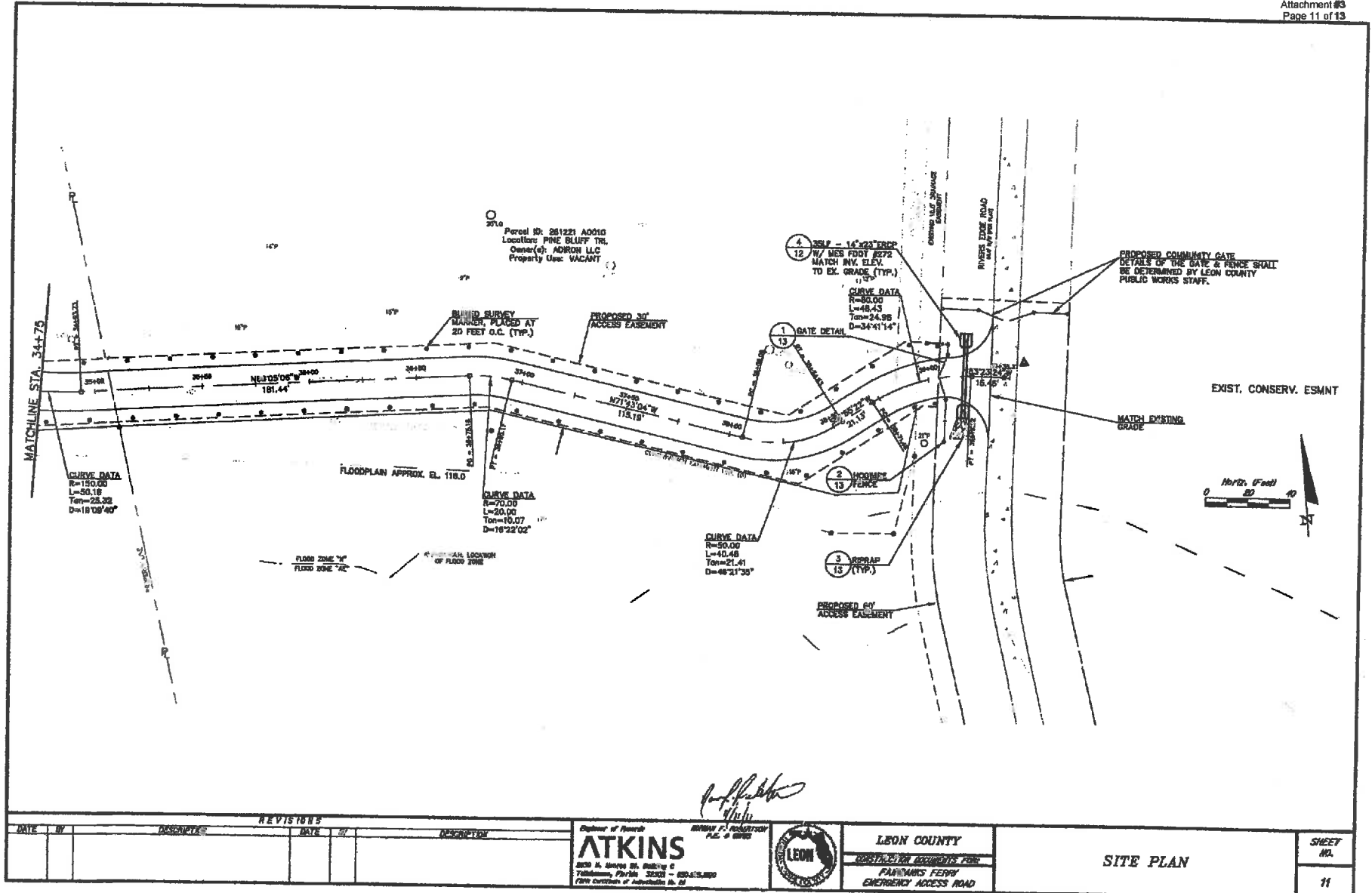
**SITE PLAN**

SHEET NO.  
9



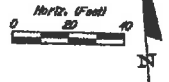
REVISIONS		DATE		DESCRIPTION

Engineer of Record <b>ATKINS</b> 8330 N. Mirra St., Suite 100 Tallahassee, Florida 32303 - 850-578-8800 100% Certificate of Authorization No. 32	Surveyor MICHAEL A. ROBERTSON P.E. & C.S. 	LEON COUNTY CONSTRUCTION DEPARTMENT FOR FARMERS FERRY EMERGENCY ACCESS ROAD	SITE PLAN	SHEET NO. 10
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PROPOSED COMMUNITY GATE  
DETAILS OF THE GATE & FENCE SHALL  
BE DETERMINED BY LEON COUNTY  
PUBLIC WORKS STAFF.

EXIST. CONSERV. ESMNT



*[Handwritten Signature]*  
4/16/11

REVISIONS				
DATE	BY	DESCRIPTION	DATE	BY

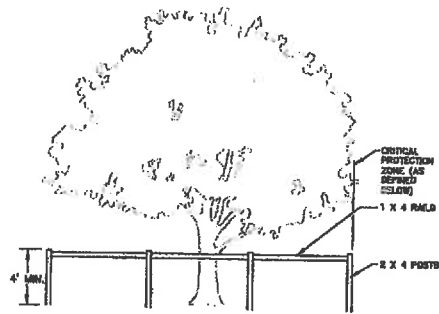
Division of Public  
**ATKINS**  
2820 N. US HWY 90, SUITE 200  
TALLAHASSEE, FLORIDA 32310 - 850-415-1800  
FIRM LICENSE NO. 100000010-0000



LEON COUNTY  
SOUTH-CENTRAL FLORIDA  
FARMERS FERRY  
EMERGENCY ACCESS ROAD

SITE PLAN

SHEET  
NO.  
11

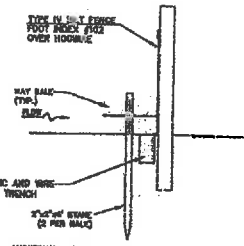


**NOTES**

THE TREE PROTECTION BARRICADE IS TO PREVENT DISTURBANCE OF THE CRITICAL PROTECTION ZONE (CPZ), CPZ IS THAT AREA SURROUNDING A TREE BY A CIRCULE DEFINED BY A RADIUS OF ONE FOOT FOR EACH INCH OF THE TREE DIAMETER AT BREAST HEIGHT.

THE AREA WITHIN BARRICADE IS NOT TO BE USED FOR STORAGE OF MATERIAL OR EQUIPMENT.

1 TREE PROTECTION BARRICADE  
NTS



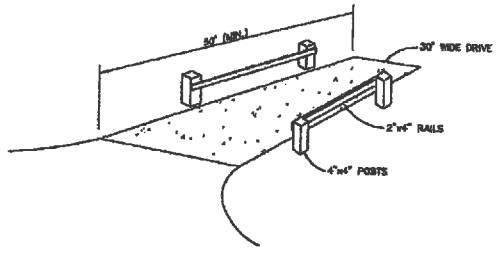
- MAINTENANCE NOTES:**
- SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY. SIGNIFICANT DAMAGE/ANY MISSING SECTIONS SHALL BE MADE IMMEDIATELY.
  - SHOULD THE FENCING ON A SILT FENCE OR FILTER BARRIER OCCURRING OR BECOME INEFFECTIVE PRIOR TO THE END OF THE SPECIFIED DURATION LIFE AND THE BARRIER SHALL BE NECESSARY, THE FENCING SHALL BE REPLACED PROMPTLY.
  - SILT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
  - ANY SIGNIFICANT DEPOSITS REMOVED IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE RELOCATED TO CONFORM WITH THE EXISTING GRAD, PREPARED AND RESEED.
  - NO TRAFFIC SHALL OCCUR WITHIN THE CRITICAL PROTECTION ZONE OF ANY PROTECTED OR REMOVABLE TREE.

2 STAKED TYPE IV SILT FENCE WITH HAY BALES  
NTS

**WET FLOW APPLICATION: SILT FENCE**

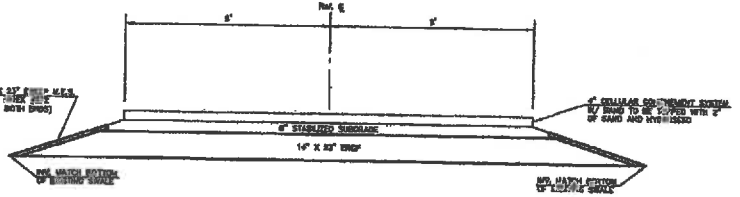
**GENERAL NOTES**

- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES. HIGHER FENCES MAY IMPROVE RETENTION OF WATER SURFACED TO CAUSE FAILURE OF THE STRUCTURE.
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARREN TO AVOID THE USE OF JOINTS. WHEN BARS AND HOODWALLS FILTER CLOTH SHALL BE SPICED AS DESCRIBED IN ITEM NO. 3 BELOW.
- POSTS SHALL BE SPACED A MINIMUM OF 10 FEET APART AT THE BARREN. LOCATION AND SHALL SECURELY INTO THE BRACKLE A MINIMUM OF 12 INCHES. WHEN EXTRA STRENGTH FABRIC IS USED THROUGH THE HOODWALL SUPPORT FRAME, POST SPACING SHALL NOT EXCEED 6 FEET.
- A BARRIER SHALL BE ESTABLISHED APPROXIMATELY 4 INCHES DEEP ALONG THE LINE OF FENCE AND SPACES FROM THE BARREN. BRACKLES SHALL NOT BE ALLOWED WITHIN THE C/PZ OF TREES TO REMAIN.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIDE AREA SUPPORT FABRIC SHALL BE PURCHASED PROMPTLY TO THE UPPER END OF THE POSTS USING HEAVY DUTY WIRE STAPLER AT LEAST 1 INCH LONG. THE WIRE IS 16 GA GROUND. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 30 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED ON INSIDE TO THE FENCE, AND 4 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FENCE SHALL NOT EXCEED MORE THAN 30 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MUST BE SECURED TO THE FENCE. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM NO. 3 APPLYING.
- WHEN ATTACHING THE SILT FENCES TO THE END POINT OF THE SECOND FENCE, THE END POINT OF THE FIRST FENCE, POSITIVE DETACHMENT AT LEAST TWO INCHES ON A DIAGONAL DIRECTION TO PREVENT SEALING WITH THE FILTER FABRIC. DRIVE SILT POSTS INTO THE GROUND AND BURY THE TAP.
- THE BARRIER SHALL BE RECALLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- WHEN USED TO CONTROL SEEDS FROM A STEEP SLOPE, SILT FENCES SHOULD BE PLACED WITHIN THE TOP OF THE SLOPE FOR MAXIMUM EROSION CONTROL.
- SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPLOUSE AREA HAS BEEN PERMANENTLY STABILIZED.



- NOTES**
- STONE BEDS WITH (4" DIA) 1/2" TO 3/4" DIAMETER) AND THICKNESS 2" TO 4" INCREASING, INCLUDING STONE, MAY BE USED TO STABILIZE DRIVE.
  - FRAMING TO PLACE STONE, INSTALL DETACHABLE PARTS ON THE GROUND FOUNDATION (CONCRETE OR STONE) TO IMPROVE STABILITY.

3 TEMPORARY CONSTRUCTION ENTRANCE  
NTS



4 CULVERT CROSSING  
NTS

**SITE MONITORING**

ALL TREE PROTECTION PROCEDURES AND ACTIVITIES SHALL BE MONITORED AND APPROVED THROUGHOUT THE CONSTRUCTION PERIOD BY A CERTIFIED ARBORIST.

**SOIL TESTING**

THE CRITICAL PROTECTION ZONE (CPZ) OF THE DESIGNATED TREE SHALL BE SOIL TESTED FOR EXISTING NUTRIENT CONTENT TO DETERMINE THE NECESSITY OF FERTILIZER APPLICATION AND RECOMMENDED PERCENTAGES AND RATES. THE SOIL SAMPLES SHALL BE TAKEN WITHIN THE CPZ. MULTIPLE SAMPLES SHALL BE TAKEN AT LOCATIONS OF SIGNIFICANT CHANGE IN SOIL TEXTURE AND COLOR DUST WITHIN THE CPZ. SAMPLES SHALL BE TAKEN TO FOUR DEPTHS (12 INCHES, 24 INCHES, 36 INCHES, 48 INCHES) FOR LABORATORY SOIL TESTING PURPOSE FOR ANALYSIS AND RECOMMENDATIONS.

PERCOLATION TESTS SHALL BE PERFORMED WITHIN THE CPZ OF EACH DESIGNATED TREE TO DETERMINE THE NECESSITY OF SOIL AERATION. MULTIPLE SAMPLES SHALL BE TAKEN AT LOCATIONS OF SIGNIFICANT CHANGE IN SOIL TEXTURE AND COLOR DUST WITHIN THE CPZ.

THE CERTIFIED ARBORIST SHALL BE RESPONSIBLE FOR ALL SOIL TESTS. SUBMITTALS OF SAMPLES SHALL BE MADE TO THE OWNER'S AGENT AND THE LANDOWNER'S AGENT FOR REVIEW.

**WEATHER**

ALL PROTECTED TREES SHALL BE WATERED AS NECESSARY TO MAINTAIN A MINIMUM SOIL MOISTURE TO THE ROOT OF RAINFALL FOR NINE MONTHS. WATERING RATE SHALL BE DEPENDENT UPON SOIL TYPE AND WEATHER CONDITIONS. A FERTILIZER SHALL BE REQUIRED FOR VERIFICATION OF APPLICABLE WATER. CARE SHALL BE TAKEN TO PREVENT WATER FROM SPREADING THE BARE OF TREES AND ROOT COLLAPSE. IRRIGATION SHALL CONTINUE AS FAR IN ADVANCE AS POSSIBLE TO DEVELOPMENT ACTIVITY AND SHALL CONTINUE THROUGH THE COMPLETION OF THE PROJECT. ALL WORKERS SHALL BE UNDER THE DIRECTION AND SUPERVISION OF THE CERTIFIED ARBORIST.

**ROOT PROTECTION**

ROOT PROTECTION SHALL OCCUR PRIOR TO ANY GRADUAL EARTHWORK, EXCAVATION OR ANY OTHER ACTIVITY WHICH MAY DAMAGE THE ROOTS OF A TREE PROPOSED FOR RETENTION. IT SHALL BE DETERMINED BY THE CERTIFIED ARBORIST OR NEW CONSTRUCTION PROTECTIVE MEASURES OF EXISTING TREES: 1.0. EXCAVATION, CONSTRUCTION OF FOOTINGS, RETAINING WALLS, EXISTING FOUNDATION AND BASE. ROOTS SHALL BE CUT WITH A MECHANICAL WEEDING EQUIPMENT TO A MINIMUM DEPTH OF 18" FOLLOWED IMMEDIATELY BY A CLEAN-OUT HAND PRUNING OF ALL ROOTS OF GROUND THAN 3/4" DIAMETER. ROOT PRUNING SHALL OCCUR IN ADVANCE OF SITE CLEARING OR GRUBBING OR THE TRUNKS OR BRANCHES OF THE EXPOSED ROOTS SHALL BE COVERED WITH MULCH AND THE MULCH MUST BE AT LEAST 12" DEEP. BACK FILLING OCCURS.

**FERTILIZER**

FERTILIZER SHALL BE PERFORMED BY A CERTIFIED ARBORIST OR ACCORDANCE WITH THE TREE AND STAMEN AS DIRECTED BY THE LANDSCAPE ARCHITECT OR DETERMINED BY THE CERTIFIED ARBORIST. FERTILIZER AND CROSS BURNING SHALL BE DONE TO ALL DEAD AND DISEASED LIMBS THAT HANGER DANGEROUS AND ALL HEAVY CONCENTRATIONS OF WOOD AND WOOD SHALL BE REMOVED WHAT COMPLETE WITH BRANCH REMOVAL. THE CLEARANCE OR PRUNING OF LARGER LIMBS FOR EXPOSURE OR STRUCTURES SHALL BE DONE BY THE CERTIFIED ARBORIST. ALL LIMBS LONGER THAN 60 INCH DIAMETER THAT ARE PROPOSED TO BE CUT SHALL NOT BE APPROVED BY THE CITY LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST AND SHALL BE PERFORMED BY THE CERTIFIED ARBORIST.

**REMOVAL OF COMPETING UNDESIRABLE TREES, SHRUBS AND WEEDS** SHALL BE DONE BY THE CERTIFIED ARBORIST. ANY PROPAGULERS OF EXOTIC INVASIVE PLANTS SHALL BE REMOVED FROM THE SITE AND DESTROYED IN A MANNER THAT PREVENTS THE SPREAD OF INVASIVE SPECIES.

**SOIL AERATION**

SOIL AERATION SHALL BE PERFORMED BY THE CERTIFIED ARBORIST UPON HIS RECOMMENDATION BASED ON RESULTS OF PERCOLATION TESTS WITHIN THE CPZ. IF REQUIRED, USE A 1 1/2" - 1 3/4" DIAMETER SOIL AERATOR TO SOIL 18" TO A DEPTH OF 18" EXIST 24" APART, STARTING 30" FROM THE TRUNK COLLAR EXTENDING TO FIVE FEET FROM THE END LINE OF THE TREE. THE ENTIRE AREA WITHIN THE CPZ OF THE TREE SHALL BE AERATED.

**MULCHING**

MULCHING SHALL BE USED THROUGHOUT THE PROJECT WITHIN THE CPZ OF THE PROTECTED TREE TO THE GREATEST EXTENT POSSIBLE. A 3-4" LAYER OF MULCH, PREFERABLY WOOD CHIPS, SHALL BE PLACED OVER THE EXPOSED CPZ OF THE PROTECTED TREE. WHERE HEAVY CONSTRUCTION TRAFFIC WILL BE LOCATED WITHIN A PORTION OF THE CPZ, A LAYER OF 4-6" OF WOOD CHIPS, COVERED WITH 3/4" PLYWOOD PLACED OVER THE MULCH SHALL BE PLACED OVER TO LESSEN SOIL COMPACTION AND DAMAGE TO THE TREE ROOTS.

**SOIL TESTS**

FERTILIZER AND PH ADJUSTMENT SHOULD BE IN RESPONSE TO THE SOIL TEST. FERTILIZER WITH A COMPLETE FERTILIZER CONTAINING AT LEAST 10% NITROGEN IN GRANULAR FORM, PHOSPHORUS 10% IN GRANULAR FORM, AND POTASH 10% IN GRANULAR FORM, SHALL BE APPLIED AT A RATE RECOMMENDED BY SOIL TESTING SERVICE. FERTILIZER PROPOSED FOR SOIL AERATION AND/OR LIGHT FERTILIZATION SHOULD BE IN A RATIO OF 10:10:10. AS DETERMINED BY SOIL TESTS AND THE CERTIFIED ARBORIST AS WELL AS APPLICATION METHOD. WATER SOIL IMMEDIATELY AFTER NORMAL APPLICATION OF FERTILIZER AT A RATE EQUIVALENT TO THE RATE OF RAINFALL.

*Prof. [Signature]*

5 ARBORICULTURAL MITIGATION  
NTS

REVISIONS				DATE OF REVIEW	ATKINS	LEON COUNTY	CONSTRUCTION DETAILS	SHEET NO.
DATE	BY	DESCRIPTION	DATE					

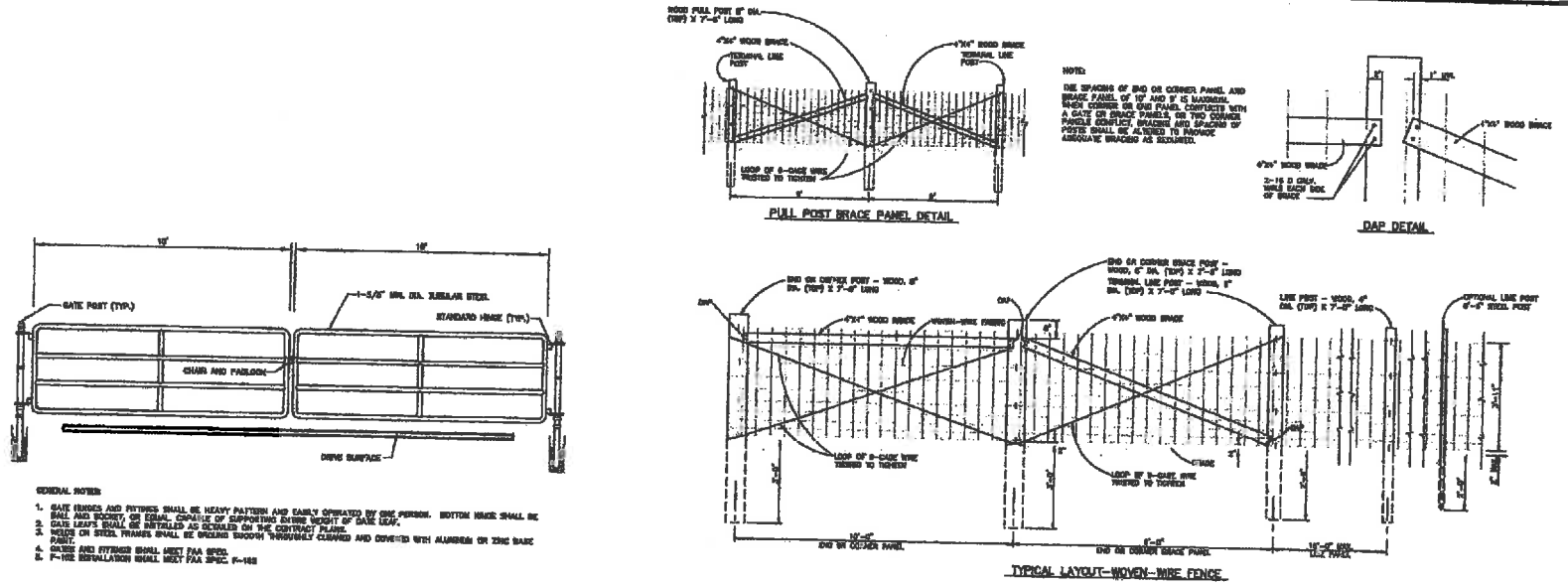
ATKINS  
2000 N. MERRILL ST. SUITE 200  
TALLAHASSEE, FLORIDA 32303 - 0600  
FURNISHING CONTRACTORS OF FLORIDA



LEON COUNTY  
CONSTRUCTION DEPARTMENT  
FARMERS FERRY  
EMERGENCY ACCESS ROAD

CONSTRUCTION DETAILS

SHEET NO.  
12

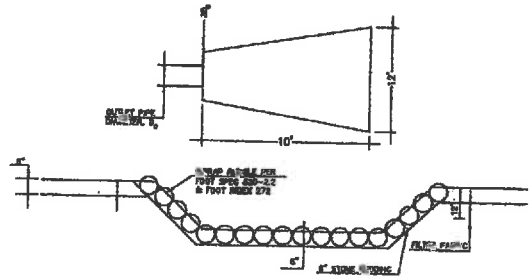


- GENERAL NOTES
- GATE FRAMES AND FITTINGS SHALL BE HEAVY PATTERN AND EARLY OPERATED BY ONE PERSON. BOTTOM HOOK SHALL BE BALL AND SOCKET OR EQUAL, CAPABLE OF SUPPORTING ENTIRE WEIGHT OF GATE LEAF.
  - GATE LEAF SHALL BE INSTALLED AS DETAIL ON THE CONTRACT PLANS.
  - WELDS ON STEEL FRAMES SHALL BE GRIND SMOOTH, THOROUGHLY CLEANED AND COVERED WITH ALUMINUM OR ZINC BASE PAINT.
  - CORNER AND FITTING SHALL MEET FIA SPEC.
  - F-THE INSTALLATION SHALL MEET FIA SPEC. F-100.

1 GATE DETAIL  
NTS

2 HOGWIRE FENCE  
NTS

3 RIPRAP RUBBLE  
NTS



REVISIONS				
DATE	BY	DESCRIPTION	DATE	BY

Division of Research  
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FORSYTH COUNTY, FLORIDA



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CONSTRUCTION DETAILS

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