

LEON COUNTY COURTHOUSE ROOF COATING

LEON COUNTY DIVISION OF FACILITIES MAINTAINENCE

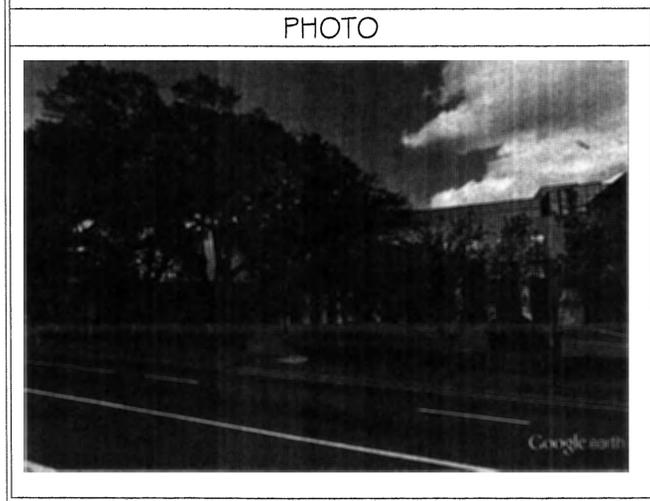
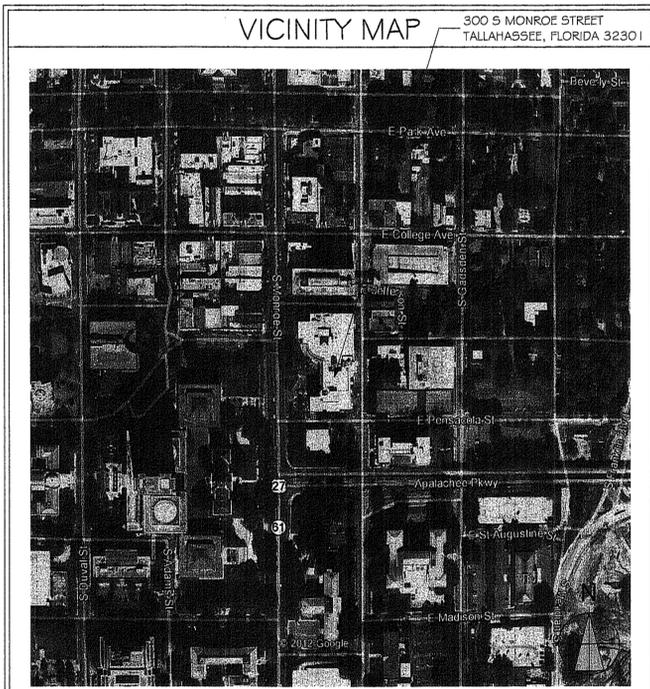
TALLAHASSEE, FLORIDA

LEON COUNTY COURTHOUSE ROOF COATING
 LEON COUNTY DIVISION OF FACILITIES MAINTAINENCE
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PROJ. NO.	105212
DATE	01/12/13
DRAWN	TR JS
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APPROVED	PL
REVISED	

MLD Architects, inc.
 ARCHITECTURE - INTERIOR DESIGN - PLANNING
 211 John Knox Road, Suite 105, Tallahassee, Florida 32303
 (850) 422-3140 Fax mld@mldarkitects.com
 (850) 385-9200 www.MLDarchitects.com AAC001281

100% SUBMITTAL
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SCOPE OF WORK

BRIEFLY AND WITHOUT FORCE AND EFFECT UPON THE CONTRACT DOCUMENTS, THE WORK OF THE CONTRACT CAN BE SUMMARIZED AS FOLLOWS:

THE WORK INCLUDES COAT THE EXISTING EPDM MEMBRANE ROOFING SYSTEM ADHERED TO THE COURTHOUSE ROOFS. THE ROOF DRAINS WILL BE CLEANED PRIMED AND PAINTED AND THE CLAMPING RING BOLTS REPLACED WITH STAINLESS STEEL BOLTS. THE EXISTING ROOFING MEMBRANE WILL BE REPAIRED WHERE DEFICIENT, PUNCTURED OR TORN AND PRESSURE WASHED CLEAN PRIOR TO COATING. STUCCO WALLS ABOVE THE ROOFS WILL BE PRESSURE WASHED AND PAINTED WITH TWO COATS PREMIUM ACRYLIC PAINT. PREVIOUSLY PAINTED METAL HANDRAILS, LADDERS, STEPS AND GUARDRAILS TO BE CLEANED PRIMED AND PAINTED WITH FLUOROPOLYMER PAINT. THE WET GLAZE SEALANT AT THE CLERESTORY WINDOWS WILL BE CUT OUT AND RESEALED WITH PREMIUM SILICONE SEALANT.

ADDITIVE ALTERNATE #1 - CUT OUT SKYLIGHT SEALANT AND WET GLAZE SKYLIGHTS WITH PREMIUM SILICONE SEALANTS.

DISCLAIMER

THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MLD ARCHITECTS INC. AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACT DOCUMENTS WERE PREPARED FOR THE USE ON THIS SPECIFIC SITE IN CONJUNCTION WITH ITS ISSUE DATE AND ARE NOT SUITABLE FOR USE ON A DIFFERENT SITE OR AT A LATER TIME. USE OF THESE DRAWINGS FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THE CONTRACT DOCUMENTS FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED.

ELECTRONIC DISTRIBUTION OF THESE DOCUMENTS IS NOT AUTHORIZED, UNLESS SPECIFICALLY APPROVED BY PROJECT ARCHITECT IN WRITING.

BUILDING AND FIRE CODES

FLORIDA BUILDING CODE, (FBC-B) 2010 EDITION
 FLORIDA EXISTING BUILDING CODE, (FBC-EB) 2010 EDITION
 FLORIDA MECHANICAL CODE, (FBC-M) 2010 EDITION
 FLORIDA FUEL GAS CODE, (FBC-FG) 2010 EDITION
 FLORIDA PLUMBING CODE, (FBC-P) 2010 EDITION
 FLORIDA FIRE PREVENTION CODE, (FFPC) 2010 EDITION
 FLORIDA ACCESSIBILITY CODE (FAC), 2010 EDITION
 NATIONAL ELECTRICAL CODE, (NEC) 2008 EDITION
 ASCE STANDARD 7 (ANCE-45.8.1) (STRUCTURAL WIND LOAD CRITERIA)

FLORIDA PRODUCT APPROVAL

AS REQUIRED BY FLORIDA STATUTE 553.842 AND FLORIDA ADMINISTRATIVE CODE 9B-72, PROVIDE INFORMATION AND PRODUCT APPROVAL NUMBER(S) ON THE BUILDING COMPONENTS UTILIZED ON THE CONSTRUCTION PROJECT REQUIRING PERMITTING AFTER APRIL 1, 2004. REFER TO WWW.FLORIDABUILDING.ORG FOR MORE INFORMATION.

DRAWING INDEX

G100 TITLE SHEET
 A000 ROOFING SCHEDULES & NOTES
 A100 ROOF PLAN
 A700 PHOTOS
 A701 PHOTOS

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LEGEND

	PARAPET WALL		SLOPE
	HVAC VENT		ROOF CORE
	ROOF HATCH		WORK LEGEND NOTE
	ROOF CURB		EXPANSION JOINT
	VTR		ELEVATION/SECTION NUMBER SHEET NUMBER
	ELECTRICAL CONDUIT		NOT IN CONTRACT
	EXISTING ROOF DRAIN		A.F.F. ABOVE FINISH FLOOR
	PHOTO MARKER		SIM. SIMILAR
	PHOTO # / SHEET #		TYP. TYPICAL
			MIR. MIRROR

WORK NOTES

1. CLEAN ALL EXISTING EPDM ROOFING SYSTEM INCLUDING WALL, CURB, AND PENETRATION FLASHING TO PROVIDE A CLEAN, SOUND SUBSTRATE CONDITION. CAUTION NOT TO EXISTING ROOFING SYSTEM, SHEETMETAL FLASHING, OR ROOF TOP EQUIPMENT DURING PRESSURE WASHING. REMOVE ALL SEALANTS, AND PREPARE JOINTS FOR APPLICATION OF NEW JOINT SEALANTS AS SPECIFIED AND RECOMMENDED BY MANUFACTURER.
2. IDENTIFY AREAS WHERE EXISTING EPDM ROOFING OR FLASHING SYSTEM IS DAMAGED OR DEFICIENT, REPAIR EXISTING ROOFING AND FLASHING ACCORDING TO EXISTING ROOFING MANUFACTURER'S RECOMMENDATIONS.
3. CONTRACTOR TO TEST ROOF DRAINS AND DOWNLEADER PIPE TO BE CLEAN AND FREE FLOWING, INSTALL NEW STAINLESS STEEL CLAMPING RING BOLTS. CLEAN, PRIME, AND PAINT TWO COATS PREMIUM ACRYLIC PAINT.
4. CLEAN, PATCH, AND REPAIR EXISTING EXPANSION JOINT BELLOWS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
5. NOT USED
6. AFTER ROOF IS CLEANED AND PREPARED APPLY NEW ROOF COATING SYSTEM OVER ENTIRE ROOF SURFACE AND UP FLASHINGS AND AROUND PENETRATIONS TO UNDERSIDE OF COUNTERFLASHING.
7. CUT OUT SEALANT AND CLEAN JOINTS, PRIME JOINT SHOULDERS AS REQUIRED, INSTALL NEW BOND BREAKER TAPE OR BACKER ROD AND APPLY NEW PREMIUM SILICONE SEALANT IN SPECIFIED JOINTS. TOOL SEALANT PROPERLY TO ENSURE PROPER BOND AND AESTHETIC.
8. REMOVE EXISTING METAL COPING JOINT COVERS, XYLENE WIPE CLEAN, INSTALL NEW 1/2" BUTYL SEALANT TAPE THE ENTIRE WIDTH AND REINSTALL THE COPING JOINT COVERS TO MATCH EXISTING INSTALLATION. ENSURE JOINT COVERS ARE FULLY SEATED IN BUTYL SEALANT.
9. MISCELLANEOUS METAL ACCESSORIES ARE TO BE CLEANED, PRIMED AND PAINTED. ALL RUST TO BE MECHANICALLY OR HAND ABRADED, REPAIR RUSTED AREAS WITH FILLER WHERE NECESSARY, AND THOROUGHLY CLEANED AS SPECIFIED. TOUCH UP PRIME BARE AND RUSTED METAL SURFACES, THEN COMPLETELY PRIME AND PAINT (2) COATS OF PREMIUM INDUSTRIAL ACRYLIC PAINT.
10. REMOVE EXISTING DETERIORATED PLYWOOD FROM LARGE WALL PENETRATION. INSTALL NEW P.T. PLYWOOD INFILL ON EXISTING FRAMING. INSTALL NEW SHEETMETAL COVER WITH JOINTS FASTENED WITH EXPOSED SELF SEALING FASTENERS AT 8" O.C. SEAL JOINTS AND PERIMETER OF SHEETMETAL COVER WITH PREMIUM SILICONE SEALANT.
11. PATCH AND REPAIR EXISTING DAMAGED STUCCO WALLS TO MATCH EXISTING TEXTURE AND APPLICATION. CLEAN, PRIME AND PAINT STUCCO PENTHOUSE AND SCREEN WALLS, 2 COATS TO MATCH ADJACENT WALL.
12. INSTALL NEW PREFINISHED ALUMINUM AWNINGS AT WALL CONDUIT PENETRATIONS. ATTACH AWNINGS TO WALL USING PROPER ANCHORS AND FASTEN TO MEET CURRENT FBC WIND LOAD REQUIREMENTS. SEAL TOP AND SIDE OF AWNING WITH PREMIUM SILICONE SEALANT.
13. ADDITIVE ALTERNATE #1 - CUT OUT SKYLIGHT SEALANT AND WET GLAZE SKYLIGHTS WITH PREMIUM SILICONE SEALANTS.

RENOVATION NOTES

- PRESSURE WASHING**
1. CLEAN ALL EXISTING PREVIOUSLY COATED EPDM ROOFING SYSTEM INCLUDING WALL, CURB, AND PENETRATION FLASHING UTILIZING A "HIGH PRESSURE COLD WATER SYSTEM" (WITH FAN TIP) TO REMOVE ALL LAITANCE, DIRT, OIL, GREASE, AND MILDEW. PROVIDE A CLEAN, SOUND SUBSTRATE CONDITION. CAUTION NOT TO EXISTING ROOFING SYSTEM, SHEETMETAL FLASHING, OR ROOF TOP EQUIPMENT DURING PRESSURE WASHING.
- MILDEW AREAS WILL REQUIRE A LIGHT DETERGENT AND CHLORINATED BLEACH SOLUTION TO BE UTILIZED IN CONJUNCTION WITH THE CLEANING OPERATION TO NEUTRALIZE MILDEW GROWTH. EFFLORESCENCE AND CALCIUM DEPOSITS TO BE TREATED AND CLEANED WITH WHITE SCUM REMOVER; FOLLOWING INITIAL PRESSURE WASHING, THEN PRESSURE WASH TREAT/CLEAN AREA AGAIN.
2. REMOVE ALL SEALANTS, AND COATINGS FROM EXISTING FLASHING, PENETRATIONS, COUNTERFLASHING, AROUND LOUVERS, WINDOWS AND DOORS, ON AND AROUND SKYLIGHTS, AND AT WALL PANEL JOINTS. PREPARE JOINTS FOR APPLICATION OF NEW JOINT SEALANTS AS SPECIFIED AND RECOMMENDED BY MANUFACTURER.
 3. CONTRACTOR SHALL SEAL AND PROTECT INTERIOR FROM WATER PENETRATION.
 4. OWNER SHALL FURNISH WATER AND UTILITIES READILY AVAILABLE ON SITE TO COMPLETE THE WORK.
- REPAIR AND RENOVATION OF EXISTING ROOFING**
1. IDENTIFY AREAS WHERE EXISTING EPDM ROOFING OR FLASHING SYSTEM IS DAMAGED OR DEFICIENT SUCH AS PUNCTURES, FISHMOUTHS, OR TEARS. REPAIR EXISTING ROOFING AND FLASHING ACCORDING TO EXISTING ROOFING MANUFACTURER'S RECOMMENDATIONS. BASE BID TO INCLUDE 100 SF OF ROOF REPAIRS. CONTRACTOR TO PROVIDE ADDITIVE/DEDUCTIVE UNIT COST FOR ROOF REPAIRS. (\$_____/S.F.)
 2. CONTRACTOR TO TEST ROOF DRAINS AND DOWNLEADER PIPE TO BE CLEAN AND FREE FLOWING. (NOTIFY ARCHITECT IF ANY ROOF DRAIN IS DISCOVERED TO BE DAMAGED OR BROKEN) INSTALL NEW STAINLESS STEEL CLAMPING RING BOLTS, ROOF DRAIN BOWLS, CLAMPING RINGS AND METAL BASKET STRAINERS TO BE CLEANED, PRIMED, AND PAINTED TWO COATS PREMIUM ACRYLIC PAINT.
 3. CLEAN, PATCH, AND REPAIR EXISTING EXPANSION JOINT BELLOWS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 4. CONTRACTOR TO IDENTIFY AND VERIFY ALL ABANDONED ROOF TOP EQUIPMENT WITH THE OWNER. REMOVE ABANDONED ROOF TOP EQUIPMENT AND PATCH/ REPAIR ALL PENETRATIONS ASSOCIATED WITH REMOVED EQUIPMENT.
 5. IDENTIFY AND ELIMINATE AREAS WHERE WATER PONDS FOR 48 HOURS OR MORE PRIOR TO COATING APPLICATION. CONTRACTOR TO PROVIDE A 25 SF. (5X5) MOCK UP APPLICATION WHICH HAS CURED FOR THE MANUFACTURER'S RECOMMENDED CURE TIME TO PERFORM THE MANUFACTURER'S APPROVED ADHESION TEST AND DETERMINE PROPER MILLAGE AND APPLICATION THICKNESS. APPLY NEW HIGH SRI PREMIUM ROOF COATING SYSTEM AS SPECIFIED OVER ENTIRE ROOFING MEMBRANE SURFACE AND UP PARAPET AND CURB FLASHINGS AND AROUND PENETRATIONS TO UNDERSIDE OF COUNTERFLASHING. APPLICATION OF COATING SYSTEM SHALL COMPLY WITH ROOF COATING MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO TAKE NECESSARY PRECAUTIONS WHEN WORKING NEAR AIR IN-TAKES.
 6. AFTER ROOF COATING IS COMPLETE, REINSTALL LIGHTNING PROTECTION SYSTEM TO MATCH EXISTING CONFIGURATION.
- SEALANT APPLICATION**
1. CUT OUT SEALANT AND CLEAN EXISTING WALL BASE COUNTERFLASHING, PERIMETER OF ROOF TOP LOUVERS, WINDOWS, AND DOORS, WALL PENETRATIONS AND AWNINGS/ COVERS, AND WALL PANEL JOINTS. PRIME JOINT SHOULDERS AS REQUIRED, INSTALL NEW BOND BREAKER TAPE OR BACKER ROD AND APPLY NEW PREMIUM SILICONE SEALANT IN SPECIFIED JOINTS. TOOL SEALANT PROPERLY TO ENSURE PROPER BOND AND AESTHETIC. ADHERE TO MANUFACTURER'S RECOMMENDATIONS FOR SEALANT APPLICATION.
 2. REMOVE EXISTING METAL COPING JOINT COVERS. REMOVED EXISTING SEALANT AND XYLENE WIPE CLEAN METAL COPING AND BOTTOM SIDE OF COPING JOINT COVERS. INSTALL NEW 1/2" BUTYL SEALANT TAPE UP AND OVER THE METAL COPING COVERING THE ENTIRE WIDTH OF BOTH VERTICAL AND HORIZONTAL PORTIONS AND REINSTALL THE COPING JOINT COVERS TO MATCH EXISTING INSTALLATION. ENSURE JOINT COVERS ARE FULLY SEATED IN BUTYL SEALANT.
 3. CONTRACTOR TO REMOVE EXISTING SEALANT AT PERIMETER CLERESTORY WINDOW SECTIONS AND WETGLAZE WINDOWS WITH PREMIUM SILICONE SEALANT. CUT OUT EXISTING SEALANT AT PERIMETER OF CLERESTORY WINDOW FRAME, INSTALL BOND BREAKER TAPE OR BACKER ROD AND SEAL PERIMETER OF WINDOW FRAME WITH PREMIUM SILICONE SEALANT.
 4. ADDITIVE ALTERNATE #1 - CUT OUT SKYLIGHT SEALANT, XYLENE WIPE BOND SURFACES, AS REQUIRED BY SEALANT MANUFACTURE AND WET GLAZE SKYLIGHTS WITH PREMIUM SILICONE SEALANT.
- PAINTING AND REPAIRS**
1. MISCELLANEOUS METAL ACCESSORIES SUCH AS GALVANIZED OR PAINTED EXTERIOR DOOR FACING, JAMBS, LINTELS, PAINTED STEEL BRACKETS, CONDUIT, PREVIOUSLY PAINTED ROOF TOP EQUIPMENT, RUSTED ROOF TOP EQUIPMENT, DUCTS, SUPPORTS, AND PIPE PENETRATIONS UNLESS NOTED OTHERWISE, ARE TO BE CLEANED, PRIMED AND PAINTED. ALL RUST TO BE MECHANICALLY OR HAND ABRADED AND REPAIR RUSTED AREAS WITH FILLER WHERE NECESSARY, AND THOROUGHLY CLEANED AS SPECIFIED. TOUCH UP PRIME BARE AND RUSTED METAL SURFACES, THEN COMPLETELY PRIME AND PAINT (2) COATS OF PREMIUM INDUSTRIAL ACRYLIC PAINT ON ALL PREVIOUSLY PAINTED EXTERIOR METAL SURFACES UNLESS NOTED OTHERWISE.
 2. LADDERS, STAIRS, LANDINGS, HAND RAILS AND GUARD RAILS SHALL HAVE ALL RUST MECHANICALLY OR HAND ABRADED, RUSTED AREAS REPAIRED WITH FILLER WHERE NECESSARY, AND THOROUGHLY CLEANED AS SPECIFIED. TOUCH UP PRIME BARE AND RUSTED METAL SURFACES, THEN COMPLETELY PRIME AND PAINT (2) COATS OF PREMIUM FLUOROPOLYMER COATING SYSTEM.
 3. PATCH AND REPAIR EXISTING DAMAGED STUCCO WALLS TO MATCH EXISTING TEXTURE AND APPLICATION. BASE BID TO INCLUDE 20 S.F. OF STUCCO REPAIR. CONTRACTOR TO PROVIDE ADDITIVE/DEDUCTIVE UNIT COST FOR STUCCO REPAIR (\$_____/ S.F.). CLEAN PRIME AND PAINT ALL STUCCO PENTHOUSE AND SCREEN WALLS, 2 COATS.
 4. REMOVE EXISTING DETERIORATED PLYWOOD FROM LARGE WALL PENETRATION. INSTALL NEW P.T. PLYWOOD INFILL ON EXISTING FRAMING. INSTALL NEW SHEETMETAL COVER OVER JOINTS FASTENED WITH EXPOSED SELF SEALING FASTENERS AT 8" O.C. SEAL JOINTS AND PERIMETER OF SHEETMETAL COVER WITH PREMIUM SILICONE SEALANT.
 5. INSTALL NEW PREFINISHED ALUMINUM AWNINGS AT WALL CONDUIT PENETRATIONS. ATTACH AWNINGS TO WALL USING PROPER ANCHORS AND FASTEN TO MEET CURRENT FBC WIND LOAD REQUIREMENTS. SEAL TOP AND SIDE OF AWNING WITH PREMIUM SILICONE SEALANT.

LIGHTNING PROTECTION

1. CONTRACTOR TO DOCUMENT EXISTING LIGHTNING PROTECTION SYSTEM LAYOUT AND CONFIGURATION.
2. TEMPORARILY REMOVE EXISTING LIGHTNING PROTECTION SYSTEM AND SALVAGE FOR REINSTALLATION.
3. FOLLOWING COATING WORK REINSTALL EXISTING LIGHTNING PROTECTION SYSTEM PREVIOUSLY REMOVED AND SUPPLEMENT WITH ADDITIONAL AERIALS, MOUNTING COMPONENTS, AND CONDUCTORS AS NECESSARY FOR COMPLETE COMPLIANCE WITH NFPA 780.
4. ENSURE AERIALS AND TWO-WAY CONDUCTOR PATHS ON ALL PARAPETS, ROOF TOP EQUIPMENT, AND OTHER BUILDING FEATURES EXTENDING ABOVE THE ROOF SURFACE.
5. THE MAXIMUM SPACE BETWEEN AERIALS SHALL BE 20', AND A MAXIMUM SPACE BETWEEN ROOF CONDUCTOR RUNS SHALL BE 50'.
6. BUILDING DOWN CONDUCTOR COMPLIANCE WITH NFPA 780 SHALL BE CONFIRMED. THE ARCHITECT SHALL BE NOTIFIED OF ANY NONCOMPLIANCE BEYOND THE SCOPE OF WORK FOR CORRECTIVE ACTIONS.

COATING/PAINTING NOTES

1. SOLVENT CLEAN (SSPC-SF1), HAND TOOL CLEAN (SSPC-SF2), AND SAND OR POWER TOOL CLEAN (SSPC-SF3) TO REMOVE ALL LOOSE PAINT, LOOSE RUST, AND LOOSE MILL SCALE FROM EXPOSED STEEL EQUIPMENT SUPPORT RACKS AND STEEL LANDING.
- STEEL SURFACES WITH TIGHTLY ADHERED EXISTING COATING WITHOUT OXIDATION OR LIMITED TO SMALL BUBBLING CONDITIONS, LESS THAN A SSPC RUST GRADE 2 SHALL HAVE A SP2 HAND TOOL CLEANING SURFACE PREPARATION AS DEFINED BY SSPC (STEEL STRUCTURES PAINTING COUNCIL) GUIDELINES. STEEL SURFACES WITH LOOSE OR BROKEN COATING MATERIAL, OR OXIDATION CORROSION GREATER THAN SSPC RUST GRADE 2 SHALL HAVE A SP3 POWER TOOL CLEANING SURFACE PREPARATION AS DEFINED BY SSPC TO COMPLETELY REMOVE ALL LOOSE, PEELING & FLAKING PAINT, AND RUST TO SOUND SUBSTRATE.
 2. SP-3 SURFACE PREPARATIONS ARE REQUIRED SPECIFICALLY AT NUT/BOLT CONNECTIONS, MATERIAL JOINING EDGE CONDITIONS, AREAS OF SEVERE RUST AND SCALE, AND AREAS ADJACENT TO GROUND AND CONCRETE SUSCEPTIBLE TO SUSTAINED MOISTURE.
 3. CONTRACTOR SHALL PROTECT ROOFING SYSTEM AND BUILDING INTERIOR FROM WATER PENETRATION.

SEE SPECIFICATION SECTION - 09890 SPECIAL COATINGS AND PAINTING.

GENERAL NOTES

1. THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. ALL BIDDERS/ CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS AND ALL CONDITIONS, AND USE THEIR CALCULATIONS AND MEASUREMENTS TO DETERMINE MATERIAL REQUIREMENTS OF THE PROJECT. IF THE BIDDER/CONTRACTOR IS UNABLE TO INTERPRET THE CONTRACT DOCUMENTS, HE IS RESPONSIBLE FOR REQUESTING CLARIFICATION IN WRITING TO THE ARCHITECT. IF THE CONTRACTOR PROCEEDS WITH ANY WORK BEFORE OBTAINING CLARIFICATION, HE SHALL BE HELD RESPONSIBLE FOR ALL DEFICIENCIES ASSOCIATED THEREWITH.
2. CONTRACTOR SHALL ERECT AND MAINTAIN ALL REASONABLE SAFEGUARDS FOR SAFETY AND HEALTH INCLUDING POSTING DANGER SIGNS, AND OTHER WARNINGS AGAINST HAZARDS, AS WELL AS PROMULGATING SAFETY REGULATIONS. CONTRACTOR SHALL PROVIDE SAFETY PRECAUTIONS AND BARRICADES FOR PEDESTRIANS AT CONSTRUCTION, VEHICLE ACCESS AND EGRESS LOCATIONS.
3. BEFORE SUBMITTING PROPOSAL FOR THE WORK, EACH BIDDER WILL BE HELD TO HAVE EXAMINED THE PREMISES AND SATISFIED HIMSELF AS TO THE SCOPE AND QUANTITY OF WORK, AND THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE AND COMPLETE THE WORK UNDER THIS CONTRACT. NO ALLOWANCE WILL BE MADE SUBSEQUENTLY IN THIS CONNECTION ON BEHALF OF THE CONTRACTOR OR SUBCONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.
4. NORMAL OPERATIONS OF THE FACILITY SHALL CONTINUE DURING DEMOLITION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE WORK WITH ALL SUBCONTRACTORS AND SEQUENCE DEMOLITION AND CONSTRUCTION TO MINIMIZE INTERRUPTIONS TO NORMAL OPERATIONS OF THE FACILITY. ALL PROPOSED INTERRUPTIONS TO OPERATIONS AND EQUIPMENT SHALL BE REVIEWED WITH AND APPROVED BY THE OWNER PRIOR TO STARTING SUCH WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CLEAR EXITWAYS. WHERE AN EXIT MUST BE TEMPORARILY BLOCKED, CONTRACTOR SHALL PROVIDE THE REQUIRED BARRICADES AND DIRECTIONAL SIGNS FOR TEMPORARY EXITING AND SAFETY.
6. CONTRACTOR SHALL BE RESTRICTED TO AREAS SPECIFIED BY OWNER FOR ON SITE STORAGE OF CONSTRUCTION MATERIALS AND EQUIPMENT. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND SECURITY OF ALL EQUIPMENT AND ITEMS REMOVED.
7. CONTRACTOR MAY UTILIZE AVAILABLE ELECTRICAL POWER AND WATER UTILITIES AT PROJECT JOB SITE.
8. CONTRACTOR TO SUBMIT TO ARCHITECT FOR APPROVAL THE SCAFFOLDING ERECTION SEQUENCE AND METHOD OF ATTACHING SCAFFOLDING TO BUILDING OR ROOF IF REQUIRED. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING SURFACES AND SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGED AREAS (MATERIALS, FINISHES, ETC.) TO THEIR ORIGINAL CONDITION. SURFACES SHALL BE REPAIRED TO MATCH THE EXISTING ADJACENT UNDAAGED SURFACES. CONTRACTOR TO VIDEO RECORD BUILDING PERIMETER AND EXISTING CONDITIONS PRIOR TO WORK. CONTRACTOR SHALL ERECT ALL SAFE GUARDS TO PROTECT AREAS/ PROPERTY ADJACENT TO SITE, FROM DAMAGE.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND SEQUENCE DEMOLITION AND CONSTRUCTION.
10. CONTRACTOR SHALL MAINTAIN A CLEAN WORK PREMISE AT ALL TIMES AND SHALL CLEAN CONSTRUCTION SITE OF ALL DEBRIS DAILY AND AT COMPLETION OF THE JOB AND ADHERE TO ENVIRONMENTAL REGULATIONS.
11. BIDDER SHALL SUBMIT WRITTEN EVIDENCE OF THE ROOF COATING AND JOINT SEALANT MANUFACTURER'S ACCEPTANCE OR APPROVAL OF THE PRODUCT APPLICATION INSTALLER FOR THIS PROJECT/SYSTEM.
12. JOINT SEALANT MANUFACTURERS TO PROVIDE 20 YEAR WARRANTY ON SILICONE JOINT SEALANT. ROOF COATING MANUFACTURER SHALL PROVIDE 10 YEAR WARRANTY ON COATING SYSTEM.
13. ALL WORK SHALL COMPLY WITH APPLICABLE OSHA AND E.P.A. REGULATIONS AND GUIDELINES.
14. INSTALL WORK IN ACCORDANCE WITH THE CODES LISTED ON THE COVER SHEET. WHERE CONFLICTS OCCUR BETWEEN CODES AND BETWEEN THE CONSTRUCTION DOCUMENTS AND CODES, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.

WORK NOTES

- 1 CLEAN ALL EXISTING EPDM ROOFING SYSTEM INCLUDING WALL, CURB, AND PENETRATION FLASHING TO PROVIDE A CLEAN, SOUND SUBSTRATE CONDITION. CAUTION NOT TO EXISTING ROOFING SYSTEM, SHEETMETAL FLASHING, OR ROOF TOP EQUIPMENT DURING PRESSURE WASHING. REMOVE ALL SEALANTS, AND PREPARE JOINTS FOR APPLICATION OF NEW JOINT SEALANTS AS SPECIFIED AND RECOMMENDED BY MANUFACTURER.
- 2 IDENTIFY AREAS WHERE EXISTING EPDM ROOFING OR FLASHING SYSTEM IS DAMAGED OR DEFICIENT, REPAIR EXISTING ROOFING AND FLASHING ACCORDING TO EXISTING ROOFING MANUFACTURER'S RECOMMENDATIONS.
- 3 CONTRACTOR TO TEST ROOF DRAINS AND DOWNLEADER PIPE TO BE CLEAN AND FREE FLOWING, INSTALL NEW STAINLESS STEEL CLAMPING RING BOLTS. CLEAN, PRIME, AND PAINT TWO COATS PREMIUM ACRYLIC PAINT.
- 4 CLEAN, PATCH, AND REPAIR EXISTING EXPANSION JOINT BELLOWS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- 5 NOT USED
- 6 AFTER ROOF IS CLEANED AND PREPARED APPLY NEW ROOF COATING SYSTEM OVER ENTIRE ROOF SURFACE AND UP FLASHINGS AND AROUND PENETRATIONS TO UNDERSIDE OF COUNTERFLASHING.

WORK NOTES

- 7 CUT OUT SEALANT AND CLEAN JOINTS, PRIME JOINT SHOULDERS AS REQUIRED, INSTALL NEW BOND BREAKER TAPE OR BACKER ROD AND APPLY NEW PREMIUM SILICONE SEALANT IN SPECIFIED JOINTS. TOOL SEALANT PROPERLY TO ENSURE PROPER BOND AND AESTHETIC.
- 8 REMOVE EXISTING METAL COPING JOINT COVERS, XYLENE WIPE CLEAN, INSTALL NEW 1/2" BUTYL SEALANT TAPE THE ENTIRE WIDTH AND REINSTALL THE COPING JOINT COVERS TO MATCH EXISTING INSTALLATION. ENSURE JOINT COVERS ARE FULLY SEATED IN BUTYL SEALANT.
- 9 MISCELLANEOUS METAL ACCESSORIES ARE TO BE CLEANED, PRIMED AND PAINTED. ALL RUST TO BE MECHANICALLY OR HAND ABRADED, REPAIR RUSTED AREAS WITH FILLER WHERE NECESSARY, AND THOROUGHLY CLEANED AS SPECIFIED. TOUCH UP PRIME BARE AND RUSTED METAL SURFACES, THEN COMPLETELY PRIME AND PAINT (2) COATS OF PREMIUM INDUSTRIAL ACRYLIC PAINT.
- 10 REMOVE EXISTING DETERIORATED PLYWOOD FROM LARGE WALL PENETRATION. INSTALL NEW P.T. PLYWOOD INFILL ON EXISTING FRAMING. INSTALL NEW SHEETMETAL COVER WITH JOINTS FASTENED WITH EXPOSED SELF SEALING FASTENERS AT 8" O.C. SEAL JOINTS AND PERIMETER OF SHEETMETAL COVER WITH PREMIUM SILICONE SEALANT.
- 11 PATCH AND REPAIR EXISTING DAMAGED STUCCO WALLS TO MATCH EXISTING TEXTURE AND APPLICATION. CLEAN, PRIME AND PAINT STUCCO PENTHOUSE AND SCREEN WALLS, 2 COATS TO MATCH ADJACENT WALL.

WORK NOTES

- 12 INSTALL NEW PREFINISHED ALUMINUM AWNING AT WALL CONDUIT PENETRATIONS. ATTACH AWNING TO WALL USING PROPER ANCHORS AND FASTEN TO MEET CURRENT FBC WIND LOAD REQUIREMENTS. SEAL TOP AND SIDE OF AWNING WITH PREMIUM SILICONE SEALANT.
- 13 ADDITIVE ALTERNATE #1 - CUT OUT SKYLIGHT SEALANT AND WET GLAZE SKYLIGHTS WITH PREMIUM SILICONE SEALANTS.

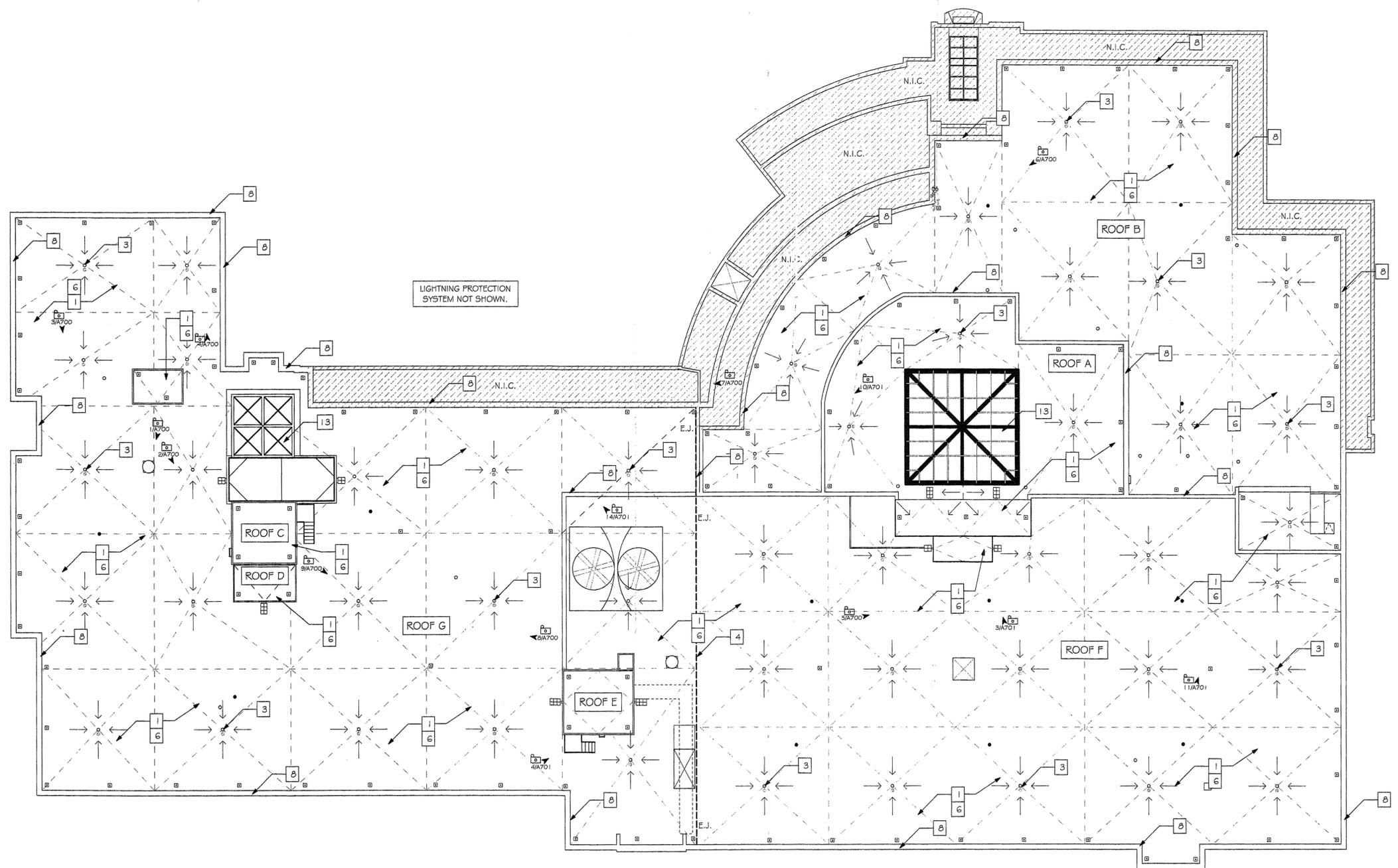
LEGEND

	PARAPET WALL		SLOPE
	HVAC VENT		ROOF CORE
	ROOF HATCH		WORK LEGEND NOTE
	ROOF CURB		EXPANSION JOINT
	VTR		ELEVATION/SECTION NUMBER SHEET NUMBER
	ELECTRICAL CONDUIT		NOT IN CONTRACT
	EXISTING ROOF DRAIN		A.F.F. ABOVE FINISH FLOOR
	PHOTO MARKER		SIM. SIMILAR
	PHOTO # / SHEET #		TYP. TYPICAL
			MIR. MIRROR

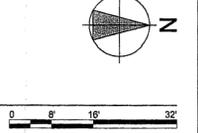
CONSULTANTS

LEON COUNTY COURTHOUSE ROOF COATING
LEON COUNTY DIVISION OF FACILITIES MAINTENANCE
TALLAHASSEE, FLORIDA

PROJ. NO.	105212
DATE	01/18/13
DRAWN	TR JB
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APPROVED	RL
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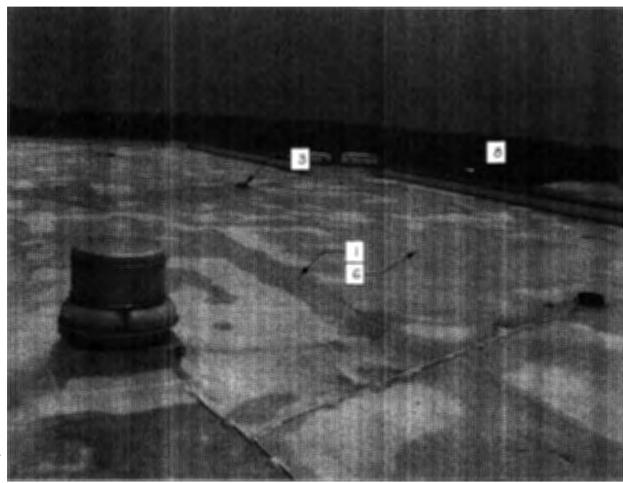


1 ROOF PLAN
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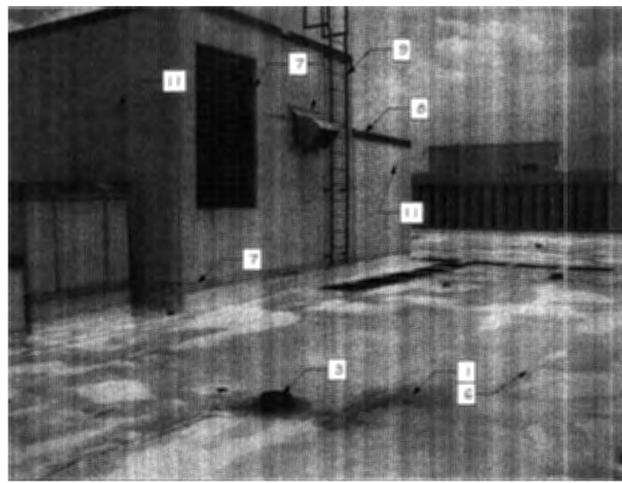


MLD Architects, inc.
ARCHITECTURE - INTERIOR DESIGN - PLANNING
John Knox Road, Suite 105 Tallahassee, Florida 32303
422-7148 Fax info@ml architects.com
(904) 365-5006 www.MLDarchitects.com AIA001138

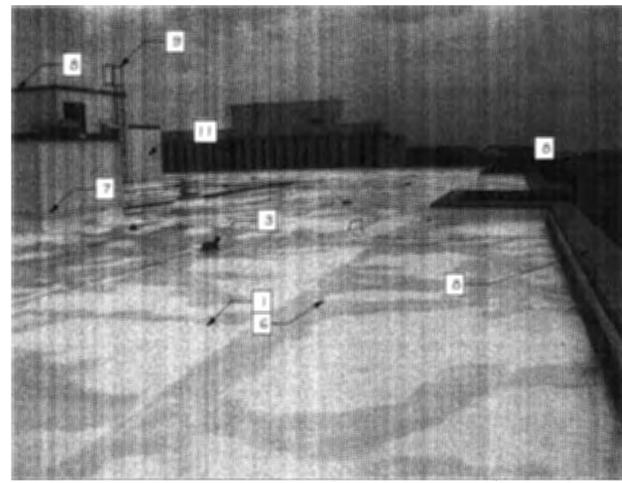
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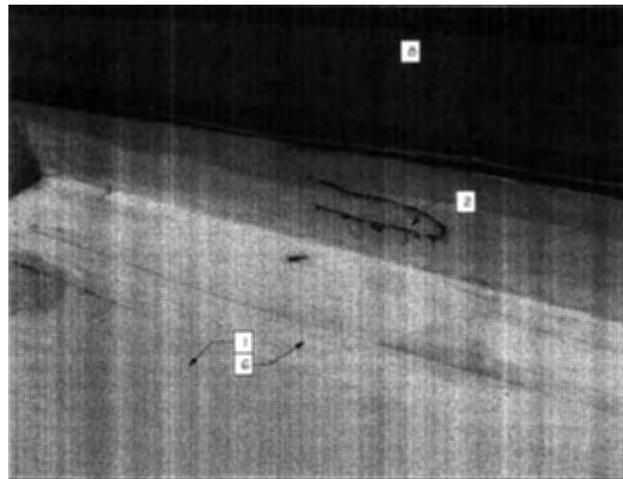
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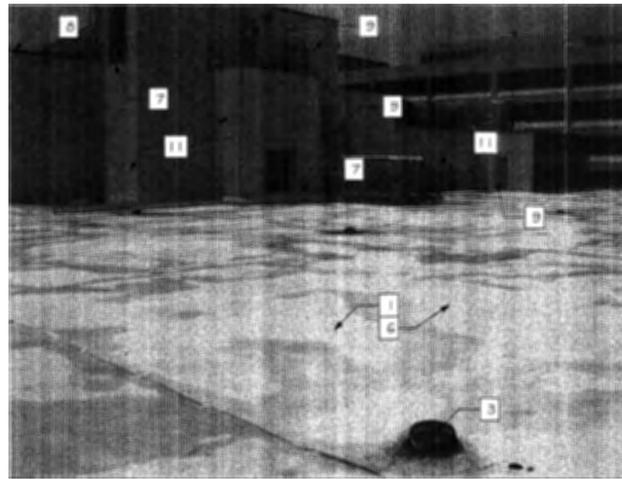
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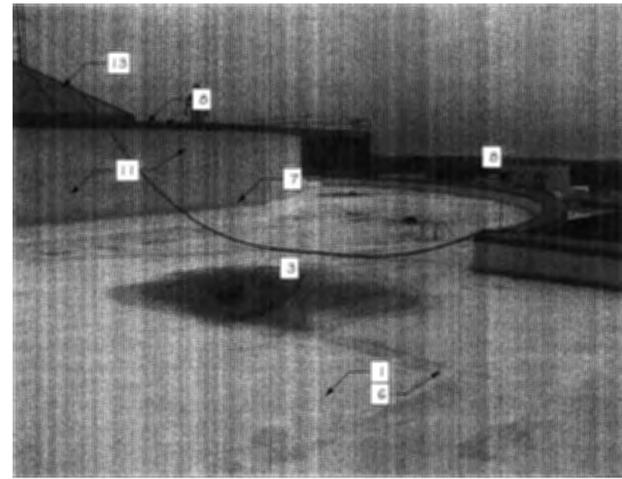
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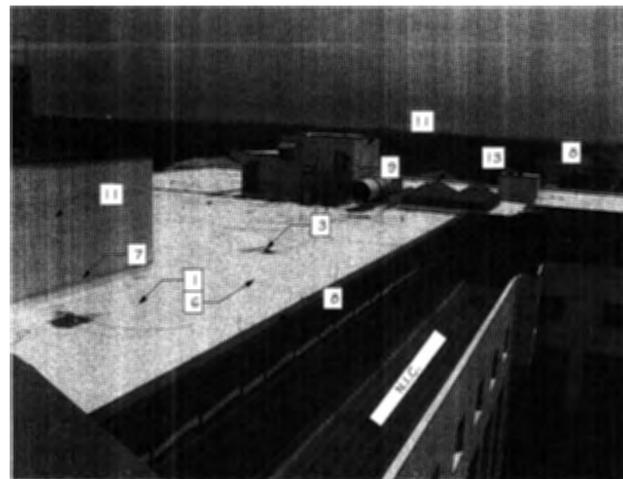
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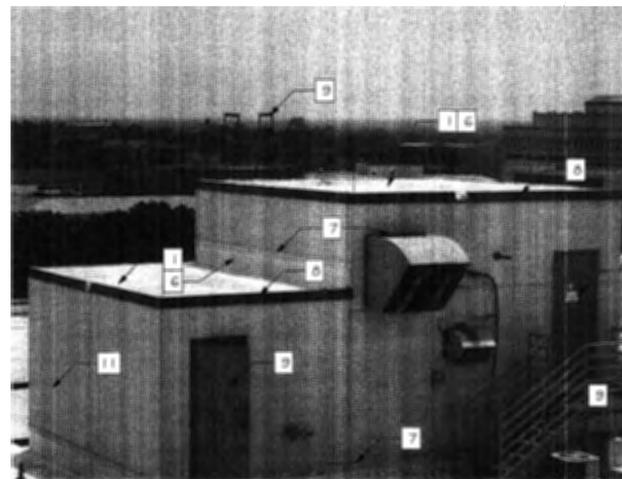
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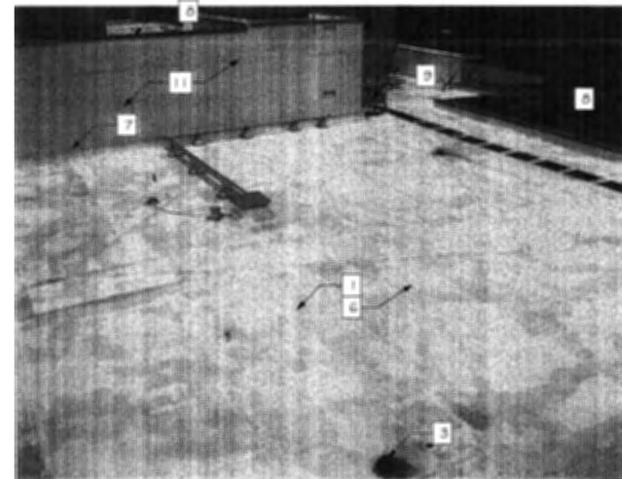
6 PHOTO 6
A700



7 PHOTO 7
A700



8 PHOTO 8
A700



9 PHOTO 9
A700

LEGEND

	PARAPET WALL		SLOPE
	HVAC VENT		ROOF CORE
	ROOF HATCH		WORK LEGEND NOTE
	ROOF CURB		EXPANSION JOINT
	VTR		ELEVATION/SECTION NUMBER SHEET NUMBER
	ELECTRICAL CONDUIT		NOT IN CONTRACT
	EXISTING ROOF DRAIN		ABOVE FINISH FLOOR
	PHOTO MARKER PHOTO # / SHEET #		SIMILAR
			TYPICAL
			MIRROR

WORK NOTES

- 1 CLEAN ALL EXISTING EPDM ROOFING SYSTEM INCLUDING WALL, CURB, AND PENETRATION FLASHING TO PROVIDE A CLEAN, SOUND SUBSTRATE CONDITION. CAUTION NOT TO EXISTING ROOFING SYSTEM, SHEETMETAL FLASHING, OR ROOF TOP EQUIPMENT DURING PRESSURE WASHING. REMOVE ALL SEALANTS, AND PREPARE JOINTS FOR APPLICATION OF NEW JOINT SEALANTS AS SPECIFIED AND RECOMMENDED BY MANUFACTURER.
- 2 IDENTIFY AREAS WHERE EXISTING EPDM ROOFING OR FLASHING SYSTEM IS DAMAGED OR DEFICIENT. REPAIR EXISTING ROOFING AND FLASHING ACCORDING TO EXISTING ROOFING MANUFACTURER'S RECOMMENDATIONS.
- 3 CONTRACTOR TO TEST ROOF DRAINS AND DOWNLEADER PIPE TO BE CLEAN AND FREE FLOWING, INSTALL NEW STAINLESS STEEL CLAMPING RING BOLTS. CLEAN, PRIME, AND PAINT TWO COATS PREMIUM ACRYLIC PAINT.
- 4 CLEAN, PATCH, AND REPAIR EXISTING EXPANSION JOINT BELLOWS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- 5 NOT USED
- 6 AFTER ROOF IS CLEANED AND PREPARED APPLY NEW ROOF COATING SYSTEM OVER ENTIRE ROOF SURFACE AND UP FLASHINGS AND AROUND PENETRATIONS TO UNDERSIDE OF COUNTERFLASHING.
- 7 CUT OUT SEALANT AND CLEAN JOINTS, PRIME JOINT SHOULDERS AS REQUIRED, INSTALL NEW BOND BREAKER TAPE OR BACKER ROD AND APPLY NEW PREMIUM SILICONE SEALANT IN SPECIFIED JOINTS. TOOL SEALANT PROPERLY TO ENSURE PROPER BOND AND AESTHETIC.
- 8 REMOVE EXISTING METAL COPING JOINT COVERS. XYLENE WIPE CLEAN, INSTALL NEW 1/2" BUTYL SEALANT TAPE THE ENTIRE WIDTH AND REINSTALL THE COPING JOINT COVERS TO MATCH EXISTING INSTALLATION. ENSURE JOINT COVERS ARE FULLY SEATED IN BUTYL SEALANT.
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- 10 REMOVE EXISTING DETERIORATED PLYWOOD FROM LARGE WALL PENETRATION. INSTALL NEW P.T. PLYWOOD INFILL ON EXISTING FRAMING. INSTALL NEW SHEETMETAL COVER WITH JOINTS FASTENED WITH EXPOSED SELF SEALING FASTENERS AT 8" O.C. SEAL JOINTS AND PERIMETER OF SHEETMETAL COVER WITH PREMIUM SILICONE SEALANT.
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- 12 INSTALL NEW PREFINISHED ALUMINUM AWNINGS AT WALL CONDUIT PENETRATIONS. ATTACH AWNINGS TO WALL USING PROPER ANCHORS AND FASTEN TO MEET CURRENT FBC WIND LOAD REQUIREMENTS. SEAL TOP AND SIDE OF AWNING WITH PREMIUM SILICONE SEALANT.
- 13 ADDITIVE ALTERNATE # 1 - CUT OUT SKYLIGHT SEALANT AND WET GLAZE SKYLIGHTS WITH PREMIUM SILICONE SEALANTS.

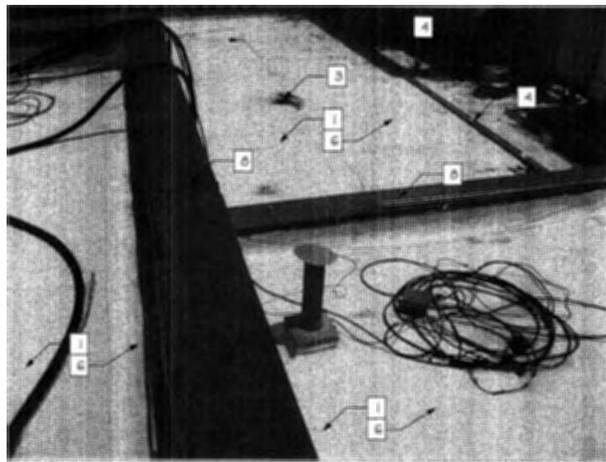
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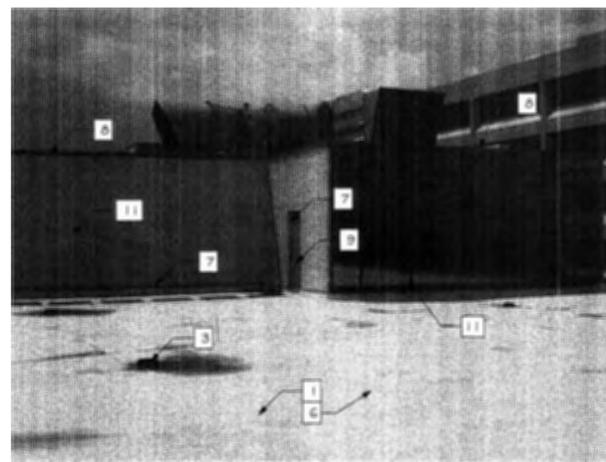
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ARCHITECTURE - INTERIOR DESIGN - PLANNING
211 John Knox Road, Suite 105, Tallahassee, Florida 32303
(850) 422-3140 Fax (850) 385-9200
www.MLDarchitects.com
mld@mldarkitects.com AAC001281

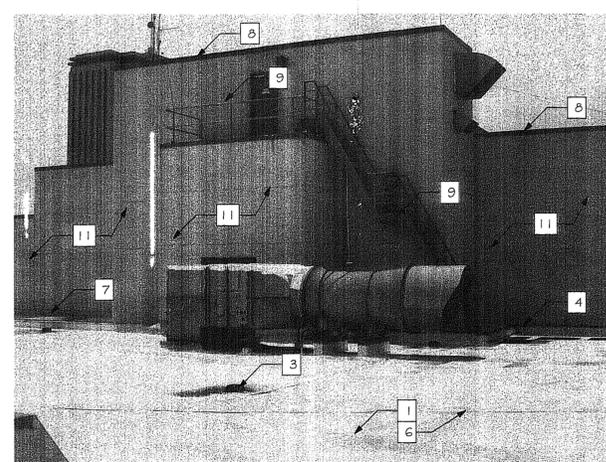
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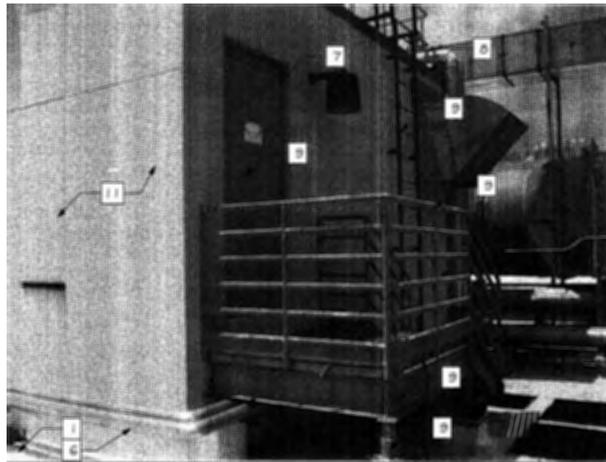
10 PHOTO 10
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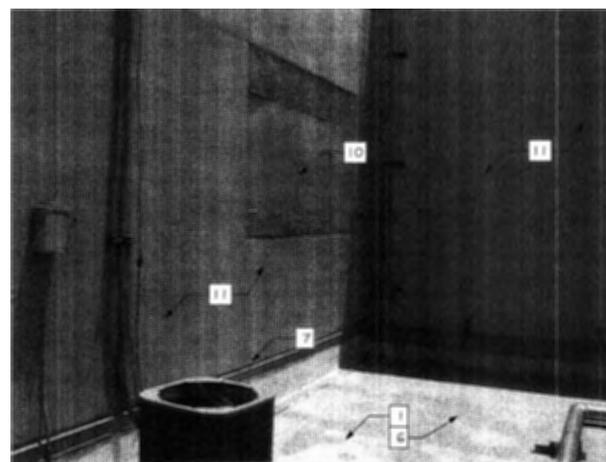
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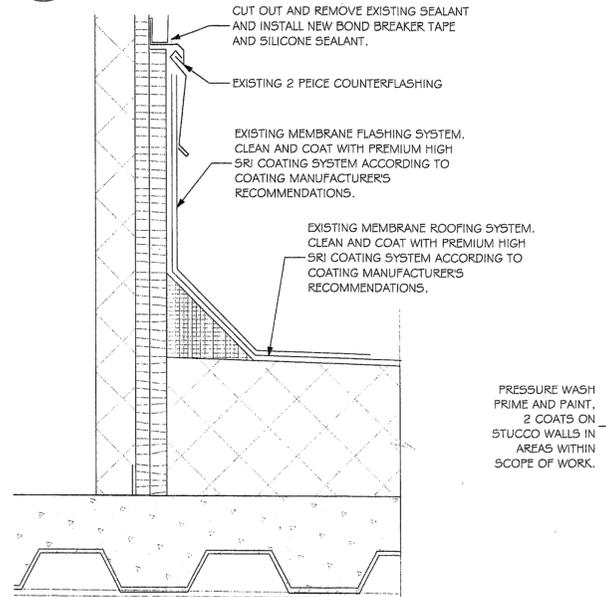
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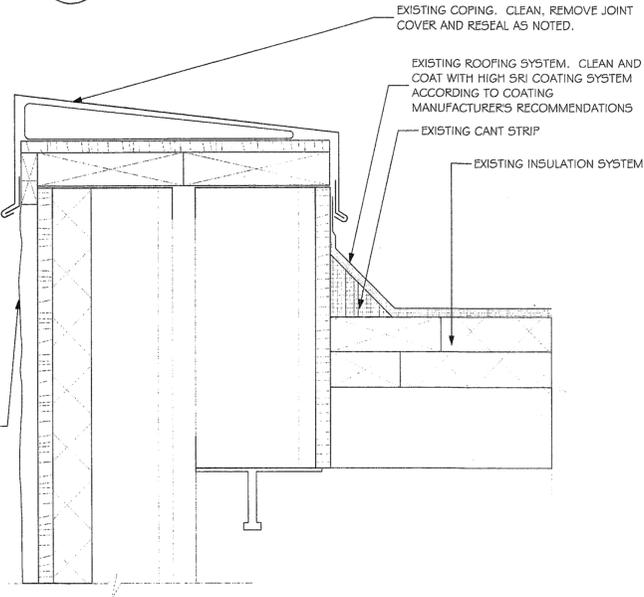
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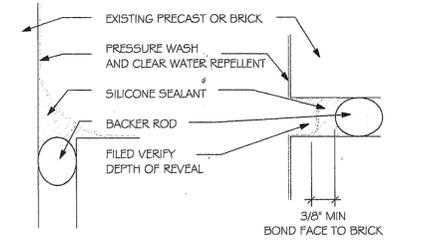
14 PHOTO 14
A701



5 WALL BASE DETAIL
A701 SCALE: 3" = 1'-0"



6 PARAPET WALL DETAIL
A701 SCALE: 3" = 1'-0"



7 SEALANT DETAILS
A701 SCALE: 1 1/2" = 1'-0"

LEGEND

	PARAPET WALL		SLOPE
	HVAC VENT		ROOF CORE
	ROOF HATCH		WORK LEGEND NOTE
	ROOF CURB		EXPANSION JOINT
	VTR		ELEVATION/SECTION NUMBER SHEET NUMBER
	ELECTRICAL CONDUIT		NOT IN CONTRACT
	EXISTING ROOF DRAIN		ABOVE FINISH FLOOR
	PHOTO MARKER PHOTO # / SHEET #		SIMILAR
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(904) 822-5140 Fax: mld@ml architects.com
(904) 385-5270 www.MLDarchitects.com

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