

APPLICABLE BUILDING CODES

ALL NEW WORK TO BE IN ACCORDANCE WITH THE LATEST BUILDING CODES ADOPTED BY THE BUILDING AUTHORITIES HAVING JURISDICTION. WHERE CONFLICTS OCCUR BETWEEN CODES OR BETWEEN CONSTRUCTION DOCUMENTS AND CODES, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.

FLORIDA BUILDING CODE, BUILDING5th EDITION, 2014FLORIDA BUILDING CODE, EXISTING BUILDING5th EDITION, 2014FLORIDA BUILDING CODE, ACCESSIBILITY CODE5th EDITION, 2014FLORIDA BUILDING CODE, ENERGY CONSERV.5th EDITION, 2014FLORIDA BUILDING CODE, ENERGY CONSERV.5th EDITION, 2014FLORIDA BUILDING CODE, FUEL GAS5th EDITION, 2014FLORIDA BUILDING CODE, FUEL GAS5th EDITION, 2014FLORIDA BUILDING CODE, PLUMBING5th EDITION, 2014FLORIDA BUILDING CODE, PLUMBING5th EDITION, 2014FLORIDA FIRE PREVENTION CODE5th EDITION, 2014NATIONAL ELECTRICAL CODE2014 EDITIONNFPA 101 - LIFE SAFETY CODE2012 EDITION		
FLORIDA BUILDING CODE, ACCESSIBILITY CODE5th EDITION, 2014FLORIDA BUILDING CODE, ENERGY CONSERV.5th EDITION, 2014FLORIDA BUILDING CODE MECHANICAL5th EDITION, 2014FLORIDA BUILDING CODE, FUEL GAS5th EDITION, 2014FLORIDA BUILDING CODE, FUEL GAS5th EDITION, 2014FLORIDA BUILDING CODE, PLUMBING5th EDITION, 2014FLORIDA FIRE PREVENTION CODE5th EDITION, 2014FLORIDA FIRE PREVENTION CODE5th EDITION, 2014NATIONAL ELECTRICAL CODE2014 EDITION	FLORIDA BUILDING CODE, BUILDING	5th EDITION, 2014
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NATIONAL ELECTRICAL CODE 2014 EDITION	FLORIDA BUILDING CODE, PLUMBING	5th EDITION, 2014
	FLORIDA FIRE PREVENTION CODE	5th EDITION, 2014
NFPA 101 - LIFE SAFETY CODE 2012 EDITION	NATIONAL ELECTRICAL CODE	2014 EDITION
	NFPA 101 - LIFE SAFETY CODE	2012 EDITION

GC'S SUBS TO SUBMIT FIRE ALARM SYSTEM, AND FIRE SPRINKLER SYSTEM FOR A SEPARATE PERMIT IF REQUIRED BY THE PERMITTING AGENCY. SHOP DRAWINGS MUST BE SUBMITTED BY THE GC TO THE CITY OF TALLAHASSEE'S INSPECTION STAFF PRIOR TO INSTALLATION.

DISPOSE OF ALL NON-ACCEPTABLE AND/OR REGULATED CONSTRUCTION AND DEMOLITION DEBRIS, LANDFILL MATERIAL, OR OTHER REGULATED ITEMS SUCH AS FLUORESCENTS, BALLASTS, HID LAMPS, MERCURY CONTAINING SWITCHES AND THERMOSTATS, NEON SIGNS, LEAD AND OTHER RECHARGEABLE BATTERIES, PAINTS, PESTICIDES, AND OTHER CHEMICALS LEGALLY. OTHER MATERIALS MAY BE IDENTIFIED. IF YOU ARE UNCERTAIN IF AN ITEM IS REGULATED, CONTACT THE WATER QUALITY DIVISION'S AQUIFER PROTECTION'S SECTION AT EITHER (850) 891-1227 OR (850) 891-1226. PRIOR TO THE REMOVAL OF REGULATED MATERIALS LISTED ABOVE, CONTRACT THE AQUIFER PROTECTION SECTION. RECEIPTS FOR PROPER DISPOSAL MUST BE PRESENTED. FAX COPIES OF RECEIPTS TO (850) 891-1062.

CODES AND REGULATORY DATA

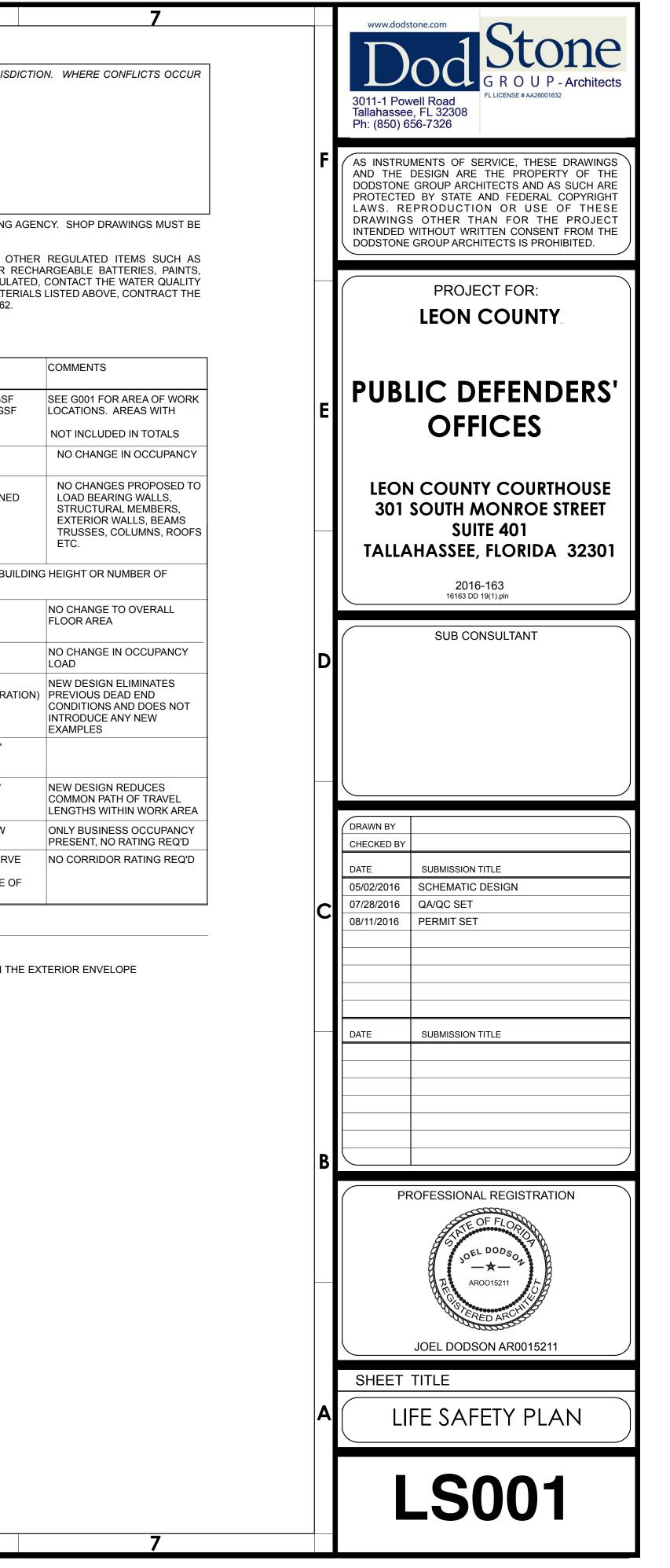
#	SUBJECT	FLORIDA BUILDING CODE, 2010 ED	AS DESIGNED/ACTUAL
π	3003201	TEORIDA BOIEDING CODE, 2010 ED	
1	RENOVATION OR ALTERATION	ALTERATION LEVEL 2 MUST BE < 50% OF TOTAL FLOOR 4th FLOOR GROSS AREA = 60,800 GSF	AREA OF WORK, PHASE I = 3,137 GSF AREA OF WORK, PHASE II = 1,283 GSF ONLY FINISH MODIFICATIONS TOTAL = 4,420 GSF, OR 7.3%
2	USE & OCCUPANCY CLASSIFICATION	TYPE B - BUSINESS	PREVIOUSLY WAS BUSINESS NEW DESIGN IS BUSINESS
3	CONSTRUCTION TYPE	PREVIOUSLY PERMITTED AS: TYPE IIA - SPRINKLERED STRUCTURAL MEMBERS, EXTERIOR WALLS COLUMNS, BEAMS, GIRDERS, TRUSSES, INTERIOR LOAD-BEARING WALLS & ROOFS ARE ALL 1-HOUR RATED AND NON- COMBUSTIBLE	MAINTAIN ALL EXISTING RATINGS TYPE IIA CONSTRUCTION MAINTAINED
4	NUMBER OF STORIES/HEIGHT	B = (5) STORIES, 65 FEET PERMITTED	NO CHANGES MADE TO OVERALL BUIL STORIES,
5	ALLOWABLE AREA PER FLOOR	B = 37,500 SF PERMITTED PER TABLE 503 SECTION 506.3 ALLOWS x2 INCREASE 75,000 SF PERMITTED PER FLOOR	4TH FLOOR IS 60,800 GROSS 60,800 < 75,000
6	OCCUPANT LOAD	BUSINESS = 1 PERSON/100 GSF 60,800/100 = 608 ON THE FLOOR	AREA STAYS THE SAME
7	DEAD END CORRIDORS	B: 50 FT MAX	LONGEST IN WORK AREA IS 27'-9" (PRESENT IN PREVIOUS CONFIGURATI
8	TRAVEL DISTANCE	B: 300 FT MAX	LONGEST IN WORK AREA IS 136'-0"
9	COMMON PATH OF TRAVEL	B: 100 FT MAX	LONGEST IN WORK AREA IS 30'-11"
10	OCCUPANCY SEPARATION REQUIREMENTS FLOOR AND WALL ASSEMBLIES	2 HOURS REQUIRED BETWEEN A AND B 1-HOUR BETWEEN ASSEMBLY <300 AND B	WORK AREA INTRODUCES NO NEW RATED WALLS
11	REQUIRED CORRIDOR WIDTHS	44" CLEAR FOR CORRIDORS SERVING < 220	AS DESIGNED ALL CORRIDORS SERVE FEWER THAN 200 PEOPLE. NARROWEST CORRIDOR IN SCOPE OF WORK IS 44" (3'-8").

INTERIOR FINISHES (PER TABLE 803.9)

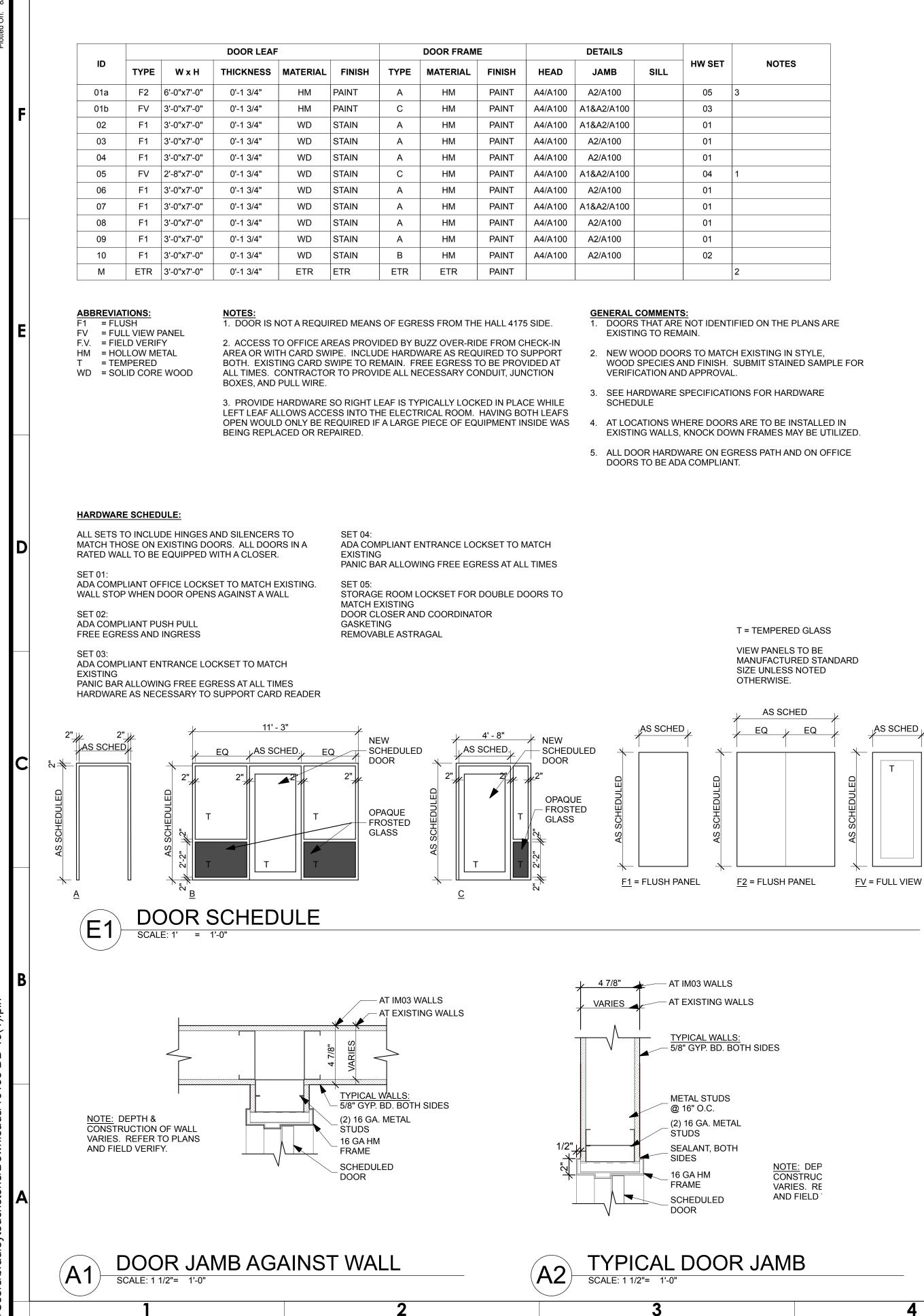
BUSINESS OCCUPANCIES CLASS B = EXIT PASSAGEWAYS

CLASS C = EXIT ACCESS CORRIDORS CLASS C = ROOMS & OTHER ENCLOSED SPACES

FLORIDA APPROVAL NUMBERS: NOT APPLICABLE. NO WORK IS BEING PERFORMED ON THE EXTERIOR ENVELOPE OF THE BUILDING.







NOTES				
3				
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4		_		
1		_		
		_		
2				

FINISH REMARKS:

- 1. FINISHES AS LISTED ARE PART OF THE BASE BID, PHASE I. EXISTING BASE CAN REMAIN AND BE REPAINTED. PATCH ANY EXISTING GOUGES IN THE EXISTING WALLS.
- 2. EXISTING CEILING TO REMAIN. BASE BID IS FOR ALL FINISHES TO REMAIN AS IS. ADD ALTERNATE 3, TO INCLUDE REPLACING THE CARPET AND PAINTING THE WALLS AND BASE.
- 3. FINISHES LISTED ARE TO BE COMPLETED ALONG WITH THE REST OF THE PHASE II WORK.
- 4. WHERE THE EXISTING FILE STORAGE HAS BEEN REMOVED, PATCH ANY RESULTING DAMAGE, VOIDS OR NAIL POPS PRIOR TO PAINTING THE WALLS. PROVIDE AND PAINT NEW BASE BOARD TO MATCH EXISTING IN CORRIDOR IF REQUIRED.
- 5. EXISTING CEILING TO REMAIN. BASE BID IS FOR ALL FINISHES TO REMAIN AS IS. ADD ALTERNATE 4 TO INCLUDE REPLACING THE CARPET AND PAINTING THE WALLS AND BASE.
- 6. EXISTING CEILING TO REMAIN. BASE BID IS FOR ALL FINISHES TO REMAIN AS IS. ADD ALTERNATE 5 TO INCLUDES REPLACING THE CARPET, AND PAINTING THE WALLS AND WOOD BASE.
- 7. WORK IN THIS ROOM LIMITED TO CLEANING ALL FINISHES AND CABINETRY/SHELVING AS RECOMMENDED BY THE FINISH MANUFACTURER.
- 8. PATCH ANY EXISTING GOUGES IN THE WALLS. PAINT WALLS AND EXISTING BASE. WORK PART OF BASE BID, PHASE I.

GENERAL FINISH COMMENTS:

CARPET: SHAW CARPET TILES. TENANT TO SELECT FROM THE FOLLOWING: SOCIAL MEDIA TILE 5T077 AMPLIFY 61549 CONSTELLATION 60660 ORBIT 26810

PAINT SELECTIONS:

WOOD BASES: BLACK TO MATCH EXISTING WALLS: PILLAR #40YY 67/C87 EXCEPT WHERE NOTED AS AN ACCENT WALL ACCENT WALLS: ONE OF THE FOLLOWING COLORS AS SELECTED BY THE ROOM OCCUPANT. SEE A1/A102 FOR ACCENT WALL LOCATIONS. COORDINATE WITH THE PDO'S DESIGNATED ONSITE

REPRESENTATIVE. CROWNHILL #70GG 27/105 BASKETRY #20YY 31/205 MOONLIGHT DRIVE

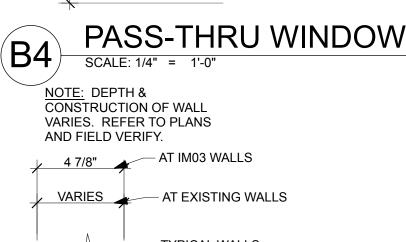
GYPSUM CEILING PAINT: TO MATCH EXISTING CEILING TILE: TO MATCH EXISTING

PROVIDE NEW WOOD WALL BASE TO MATCH EXISTING

AT ALL NEW WALLS (BOTH SIDES) AND AT ALL DOOR INFILLS. SPECIES TO MATCH EXISTING. SALVAGED BASE CAN BE REUSED IF IT IS IN GOOD REPAIR. WHERE MORE THAN ONE BASE PROFILE EXISTS REMOVE SHORTER BASE AND REPLACE WITH THE TALLER PROFILE. USE ONLY ONE PROFILE WITHIN ANY GIVEN ROOM.

131-6 BI-PARTING PASS THROUGH WINDOW BY 4'-5 1/2" ✓ READY ACCESS OR ↓1'-6"↓

ARCHITECT APPROVED EQUAL. MANUAL **OPERATION FOR OPENING** AND CLOSING. BUILT-IN SECURITY HARDWARE/ LOCKS. DIRT FREE SILL TRACK. POWDER COAT FINISH TO MATCH ADJACENT DOOR JAMB COLOR. 1/4" CLEAR TEMPERED GLASS



<u>TYPICAL WALLS:</u> - 5/8" GYP. BD. BOTH SIDES

- 16 GA RUNNER

1/2" լ

(A4)

OPENING SIZE 3'-4" TO 6'-0" WIDE: – PROVIDE 16 GA DOUBLE STUD LINTEL. SEALANT, BOTH SIDES

- 16 GA HM FRAME

- SCHEDULED DOOR

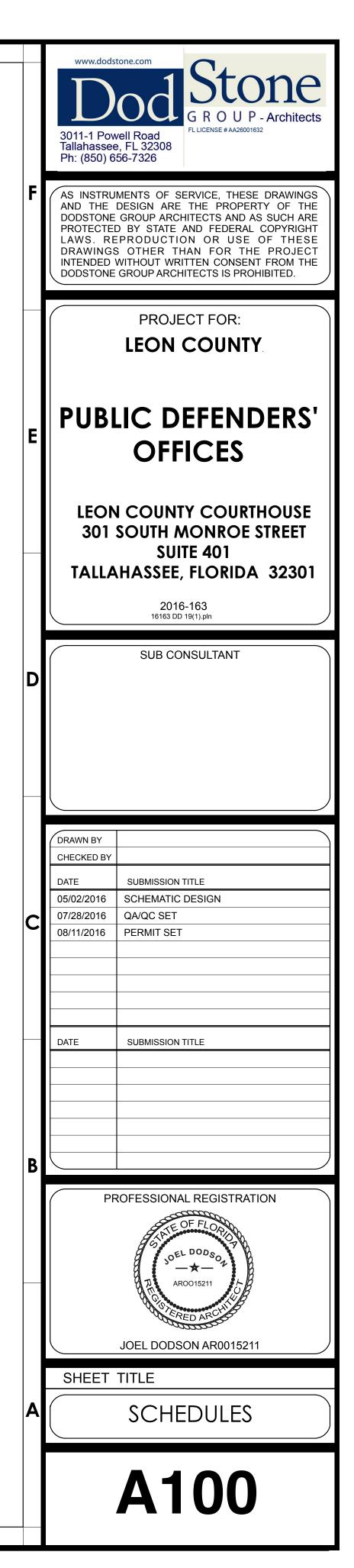
TYPICAL DOOR HEAD SCALE: 1 1/2"= 1'-0"

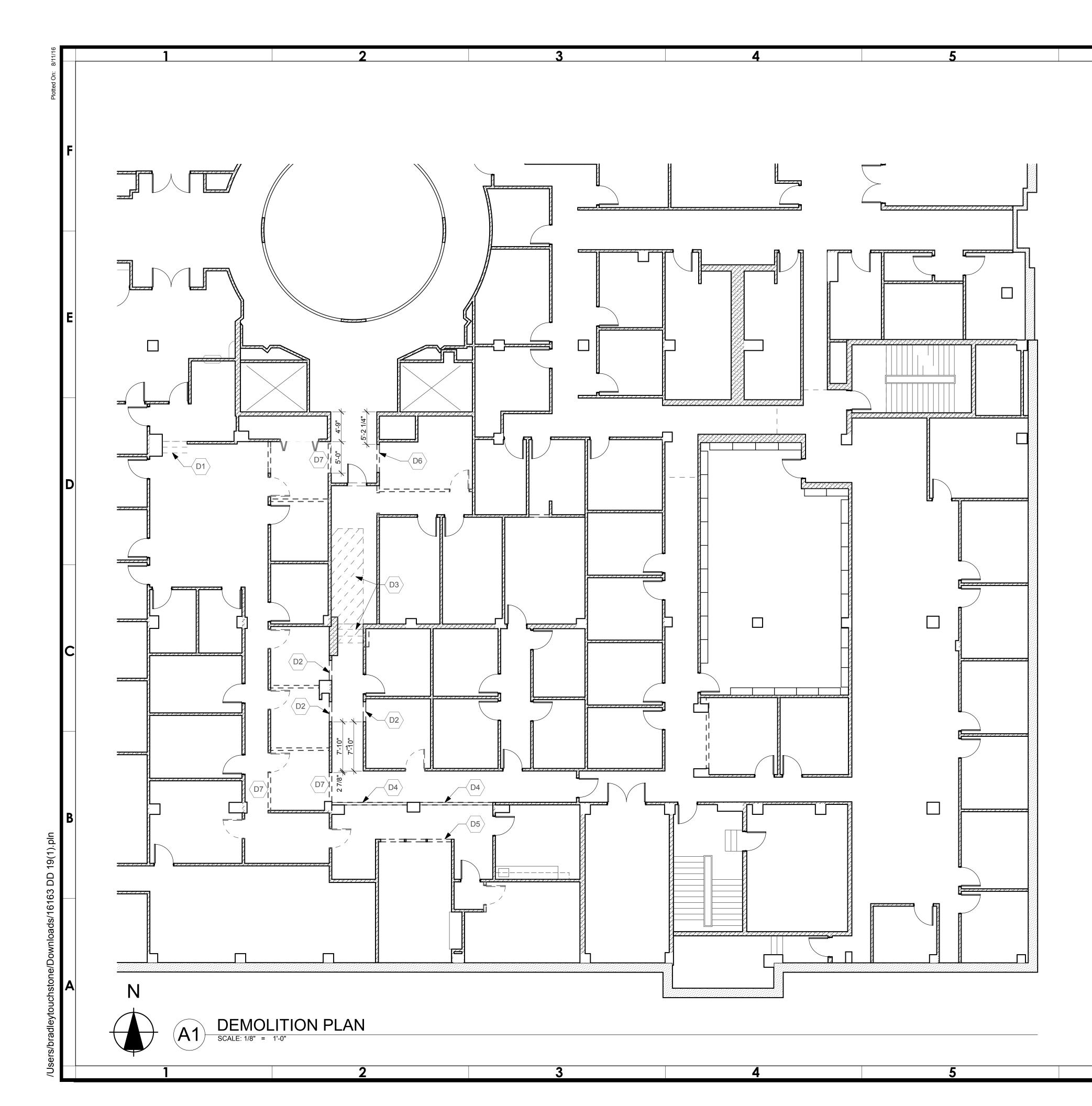
		F	LOOR	WALL			
RM #	ROOM NAME	FINISH	BASEBOARD	MATERIAL	FINISH	CEILING	REMARKS
400C	HALL	CARPET	WOOD	GYP. BOARD	PAINT	GYP. BOARD	1
412	OPEN OFFICE	CARPET	WOOD	GYP. BOARD	PAINT	ACT	1
412C	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	6
412D	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	6
412E	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	6
412F	LIBRARY	ETR	ETR	ETR	ETR	ETR	7
412G	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	2
412H	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	2
412I 412J	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	2
4125	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	2
412L	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	2
412M	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	2
412N-1	OFFICE	CARPET	WWOD	ETR	PAINT	ETR	2
412N-2	STO.	ETR	ETR	ETR	ETR	ETR	3
4120	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	3
412P	OFFICE	CARPET	WOOD	GYP. BOARD	PAINT	ACT	3
412Q	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	5
412R	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	5
412S	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	5
412T	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	5
412V	OPEN OFFICE	CARPET	WOOD	GYP. BOARD	PAINT	ETR	3
421A	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	1
421B	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	1
425	MECH	ETR	ETR	ETR	ETR	ETR	
426	MECH.	ETR	ETR	ETR	ETR	ETR	
427A	HALL	CARPET	WOOD	ETR	PAINT	ETR	2
427B 427C	OFFICE	CARPET	WOOD WOOD	ETR	PAINT	ETR	5
4270 427D	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	6
427E	OFFICE	CARPET	WOOD	GYP. BOARD	PAINT	ACT	1
427F	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	1
427G	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	5
427H	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	5
441A	OPEN OFFICE	CARPET	WOOD	GYP. BOARD/ETR	PAINT	ACT	3
441A-1	HALL	CARPET	WOOD	GYP. BOARD/ETR	PAINT	ACT	1
441C	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	1
441D	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	1
441E	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	1
441F	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	1
441G	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	1
441H	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	1
4411	OFFICE	CARPET	WOOD	ETR	PAINT	ETR	1
441L	OFFICE	CARPET	WOOD	GYP. BOARD/ETR	PAINT	ACT	1
441N 4410	OFFICE	CARPET	WOOD WOOD	GYP. BOARD/ETR GYP. BOARD/ETR	PAINT	ACT	1
4410 441R	OFFICE	CARPET	WOOD	GYP. BOARD/ETR GYP. BOARD/ETR	PAINT	ACT ACT	1
44 IR 443J	KITCHENET	ETR	ETR	ETR	ETR	ETR	7, 8
4435 443K	OFFICE	CARPET	WOOD	GYP. BOARD	PAINT	ACT	1
443L	MEETING	CARPET	WOOD	GYP. BOARD	PAINT	ACT	1
443N	OFFICE	CARPET	WOOD	ETR	PAINT	ACT	1
483B	OFFICE	CARPET	WOOD	GYP. BOARD	PAINT	ACT	3
483C	OFFICE	CARPET	WOOD	GYP. BOARD	PAINT	ACT	3
483D	OFFICE	CARPET	WOOD	GYP. BOARD	PAINT	ACT	3
4161	HALL	CARPET	WOOD	ETR	PAINT	ETR	3, 4
4166	HALL	CARPET	WOOD	GYP. BOARD	PAINT	GYP. BOARD	3, 4
4173	HALL	CARPET	WOOD	GYP. BOARD/ETR	PAINT	ACT	1
4174	HALL	CARPET	WOOD	GYP. BOARD/ETR	PAINT	ETR	3, 4
4174A	HALL	CARPET	WOOD	GYP. BOARD/ETR	PAINT	ETR	3, 4
4175	HALL	CARPET	WOOD	GYP. BOARD/ETR	PAINT	GYP./ACT	1
4178	STAIR	ETR	ETR	ETR	ETR	ETR	

FINISH SCHEDULE

SCALE: 1' = 1'-0"

(A5)-





EMOLITIC ALE: 1/8" = 1'-0"
EXISTING DOOR TO REMAIN
REMOVE EXISTING DOOR
 DEMOLISHED WALL

GENERAL DEMOLITION NOTES:

- NOTED.
- TO MATCH ADJACENT SURFACES.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL DEMOLITION AND THE RELOCATION OF EXISTING SPRINKLER HEADS.
- THE PREMISES AND DISPOSE OF IN A LEGAL FASHION.
- 5. SEE FINISH SCHEDULE FOR ALL INTERIOR FINISHES.
- TO PURCHASING AND PRIOR TO INSTALLING ALL MATERIALS.
- EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- OTHERWISE
- 9 FAILURE BY THE GC TO VISIT THE PREMISES TO ASSESS THE FULL SCOPE OF THE TO SUBMITTING A BID.
- FOR THEIR REUSE. REPLACE ANY ITEMS DAMAGED DURING DEMOLITION OR EXISTING WALLS TO REMAIN. FINISH TO MATCH ADJACENT SURFACES.
- TO ITEMS DOWNSTREAM OF ITEMS IDENTIFIED FOR REMOVAL.
- REQUIRED.

SPECIFIC DEMOLITION NOTES:

(D1)	REMOVE EXISTING STEPS AND ASSOCIATED KNEE WALL AND HANDRAILS. PATCH FINISHED SURFACES TO MATCH ADJACENT CONDITIONS.
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REMOVE EXISTING WALL AS REQUIRED TO INSTALL THE SCHEDULED DOOR. RELOCATE ANY LINES CONCEALED WITHIN THE WALL AS REQUIRED TO MAINTAIN FULLY FUNCTIONAL SYSTEMS UPSTREAM AND DOWNSTREAM.

REMOVE EXISTING STAIRS, ASSOCIATED HANDRAILS, AND RAISED $\langle D3 \rangle$ FLOOR TO THE NEXT JOIST BEYOND THE TOP OF THE NEW RAMP. SHORE ALL OF THE RAISED FLOOR TO REMAIN AS REQUIRED. SEE A301. DO NOT PENETRATE THROUGH TO THE FLOOR BELOW.

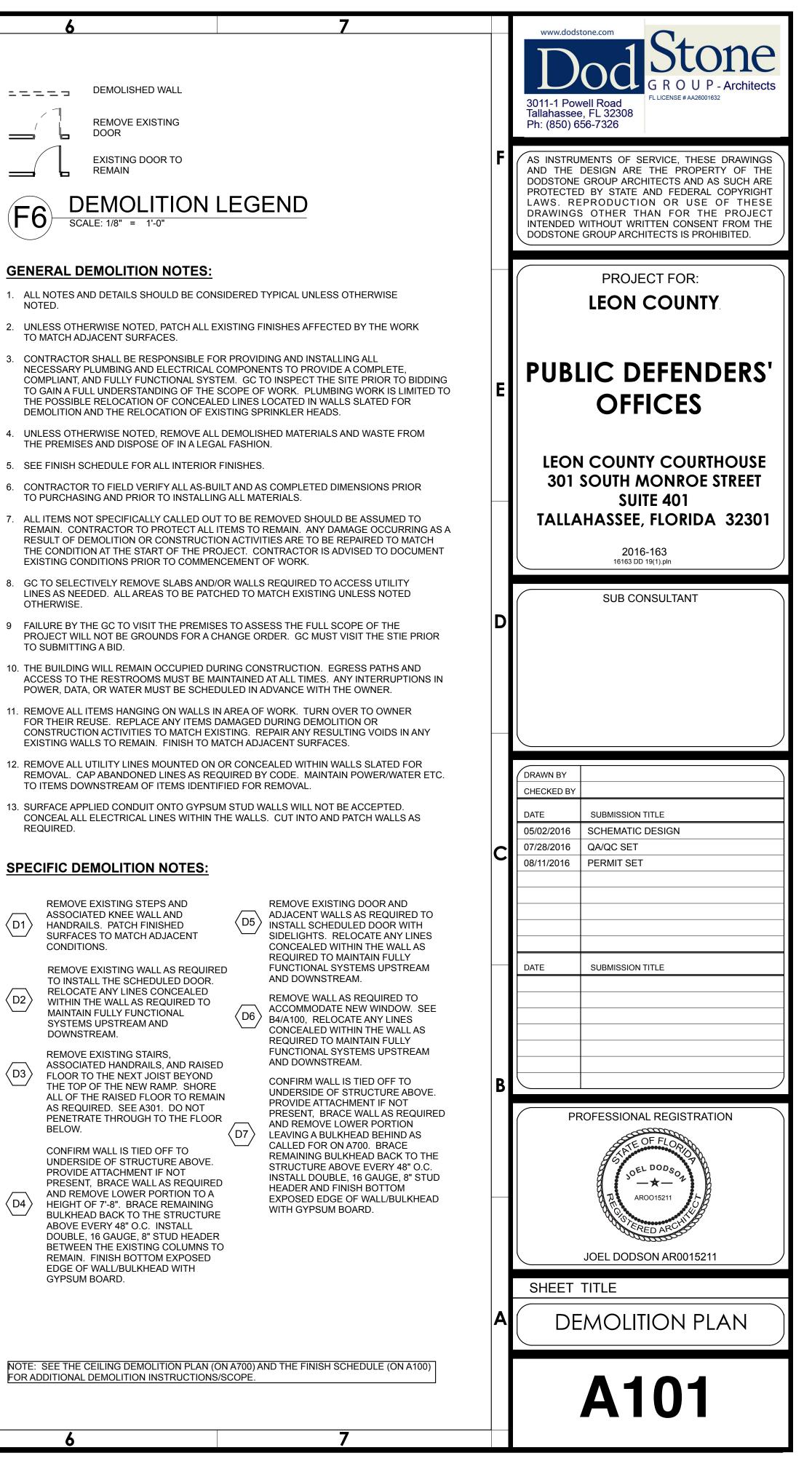
CONFIRM WALL IS TIED OFF TO

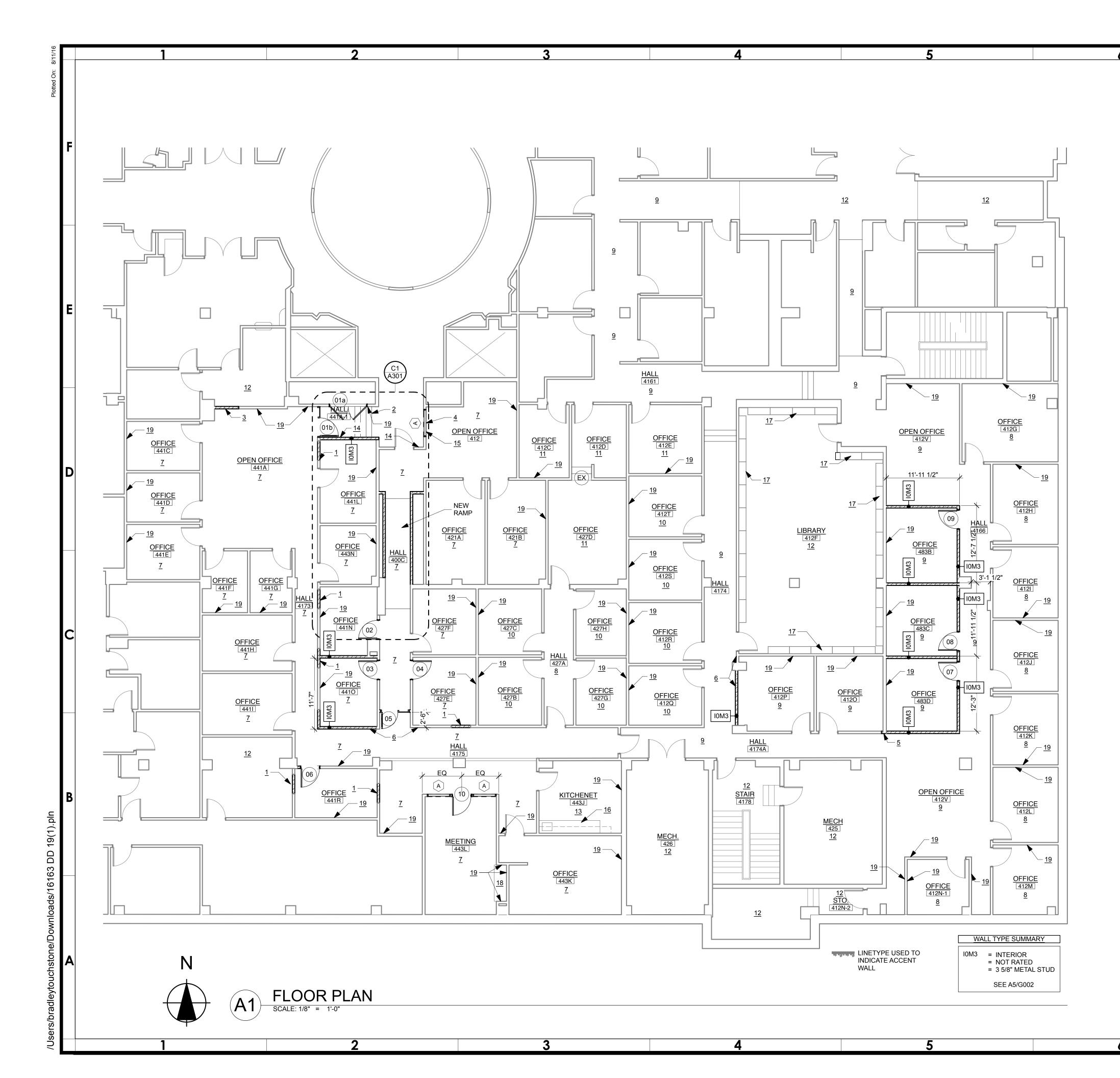
 $\langle D4 \rangle$

 $\langle D2 \rangle$

UNDERSIDE OF STRUCTURE ABOVE. PROVIDE ATTACHMENT IF NOT PRESENT, BRACE WALL AS REQUIRED AND REMOVE LOWER PORTION TO A HEIGHT OF 7'-8". BRACE REMAINING BULKHEAD BACK TO THE STRUCTURE ABOVE EVERY 48" O.C. INSTALL DOUBLE, 16 GAUGE, 8" STUD HEADER BETWEEN THE EXISTING COLUMNS TO REMAIN. FINISH BOTTOM EXPOSED EDGE OF WALL/BULKHEAD WITH GYPSUM BOARD.

FOR ADDITIONAL DEMOLITION INSTRUCTIONS/SCOPE



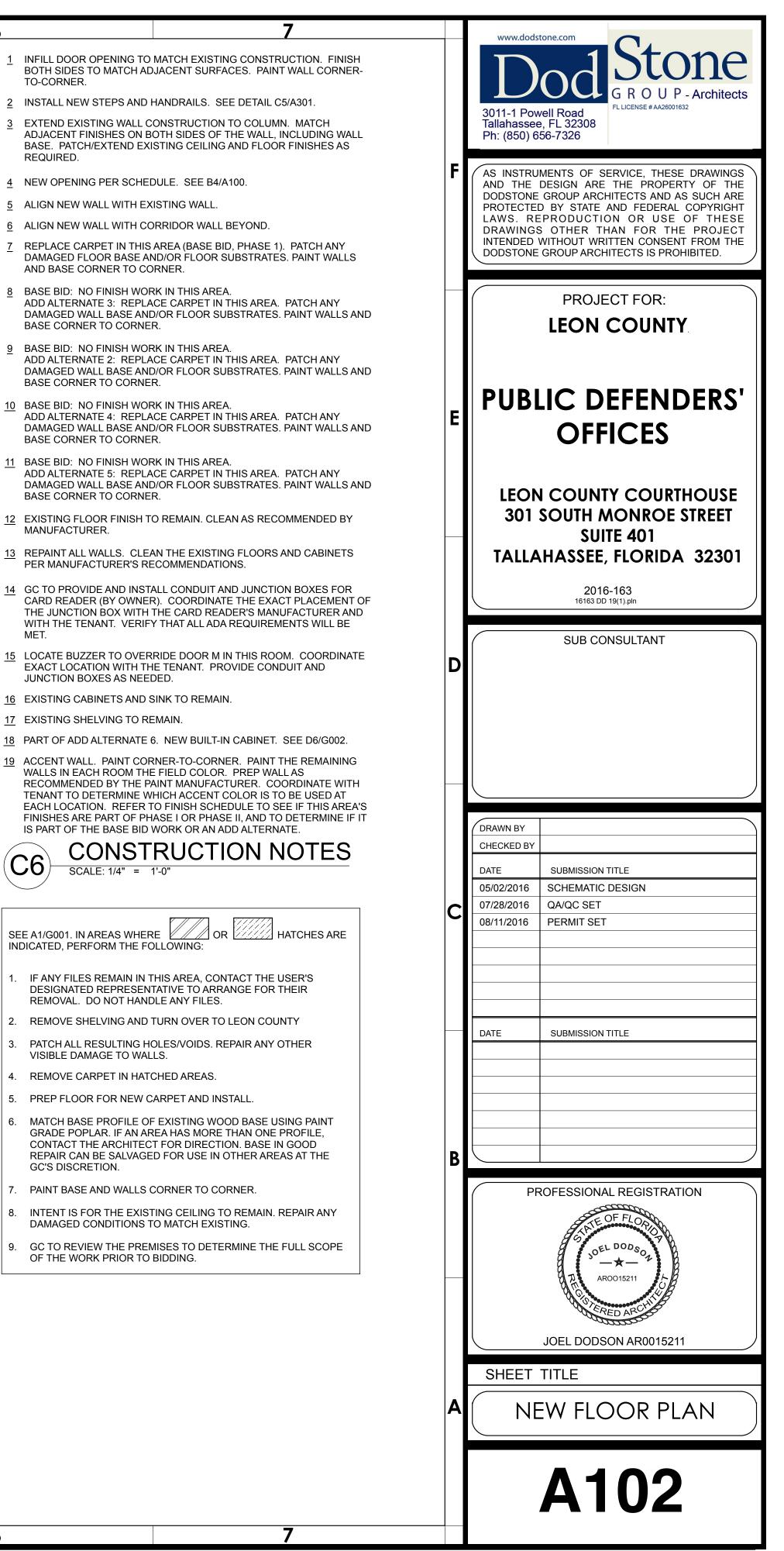


- TO-CORNER.
- REQUIRED.
- 4 NEW OPENING PER SCHEDULE. SEE B4/A100.
- 5 ALIGN NEW WALL WITH EXISTING WALL.
- 6 ALIGN NEW WALL WITH CORRIDOR WALL BEYOND.
- AND BASE CORNER TO CORNER.
- 8 BASE BID: NO FINISH WORK IN THIS AREA. BASE CORNER TO CORNER.
- 9 BASE BID: NO FINISH WORK IN THIS AREA. BASE CORNER TO CORNER.
- 10 BASE BID: NO FINISH WORK IN THIS AREA. BASE CORNER TO CORNER.
- 11 BASE BID: NO FINISH WORK IN THIS AREA. BASE CORNER TO CORNER.
- MANUFACTURER.
- MFT
- JUNCTION BOXES AS NEEDED.
- 16 EXISTING CABINETS AND SINK TO REMAIN.
- 17 EXISTING SHELVING TO REMAIN.

C6 SCALE: 1/4" = 1'-0"

SEE A1/G001. IN AREAS WHERE INDICATED, PERFORM THE FOLLOWING:

- REMOVAL. DO NOT HANDLE ANY FILES.
- VISIBLE DAMAGE TO WALLS.
- . REMOVE CARPET IN HATCHED AREAS.
- 5. PREP FLOOR FOR NEW CARPET AND INSTALL.
- GC'S DISCRETION.
- . PAINT BASE AND WALLS CORNER TO CORNER.
- DAMAGED CONDITIONS TO MATCH EXISTING.
- OF THE WORK PRIOR TO BIDDING.



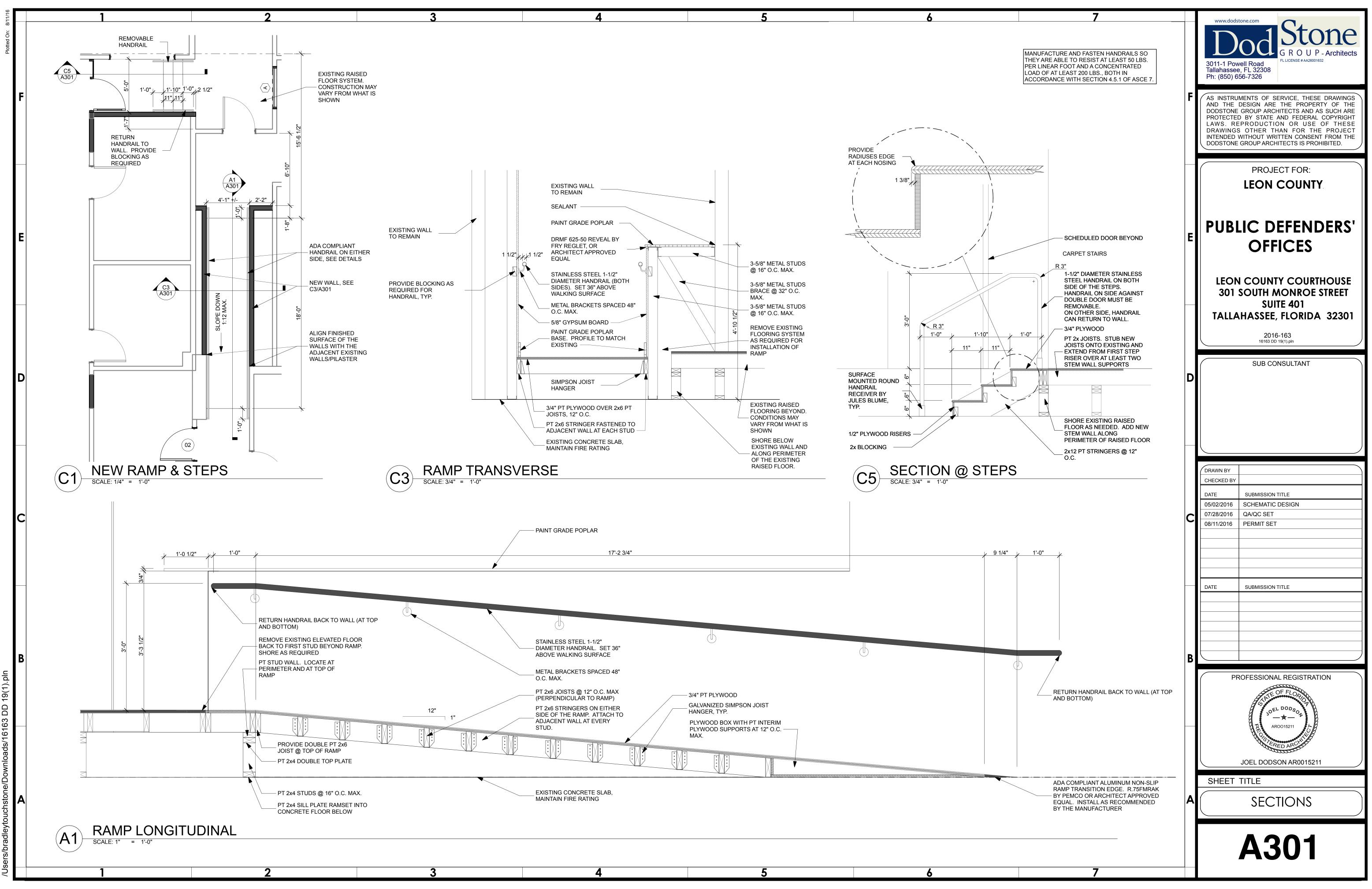


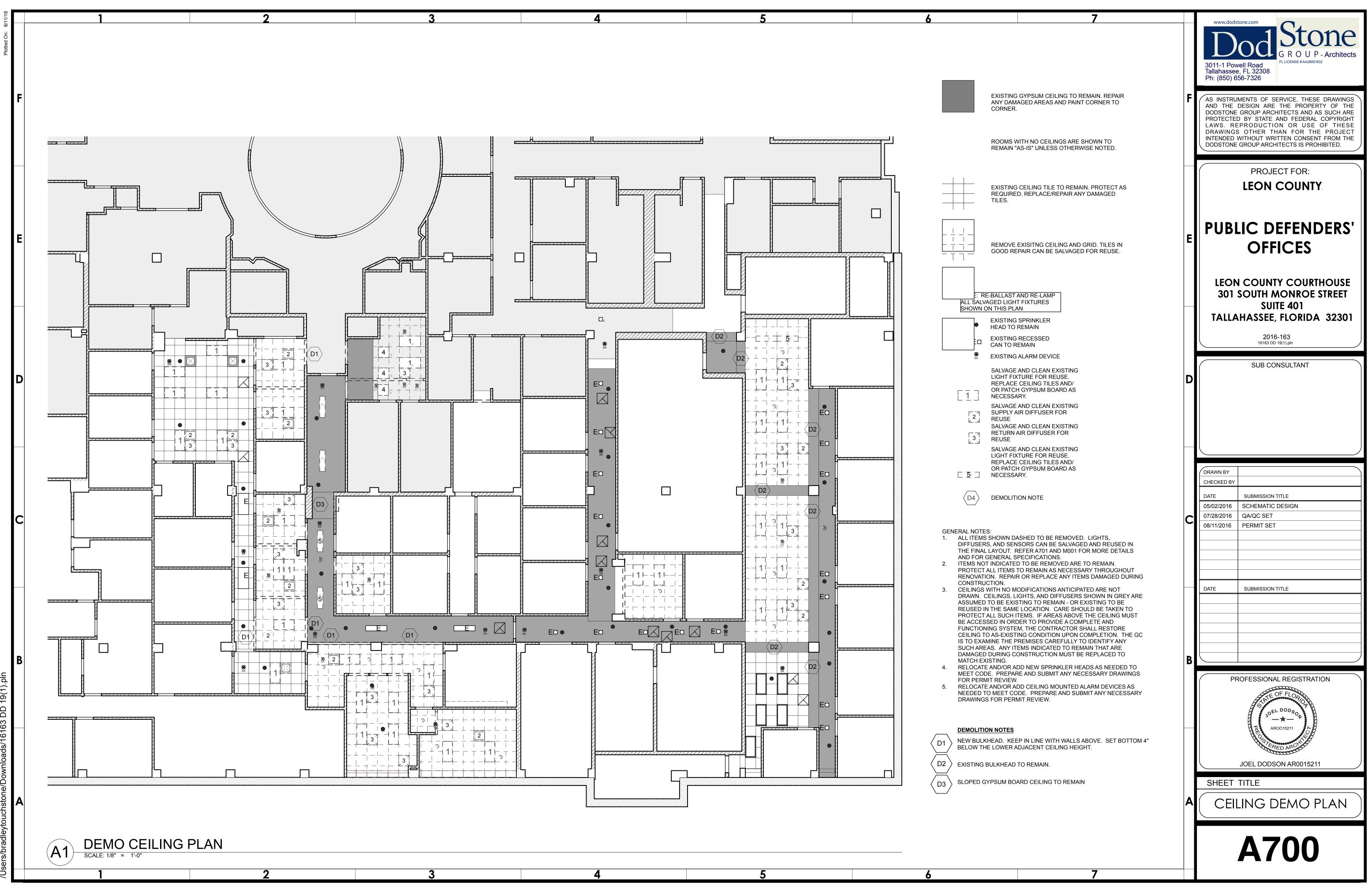
6					
SIGNAC	SE SCHEDULE				
ROOM #	ROOM NAME	ROOM # PLATE	NAMI PLATI INSEF		
400C	HALL				
412	OPEN OFFICE				
412C	OFFICE				
412D	OFFICE				
412E	OFFICE				
412F	LIBRARY				
412G	OFFICE				
412H 412I	OFFICE				
4121 412J	OFFICE				
4126 412K	OFFICE				
412L	OFFICE				
412M	OFFICE				
412N-1	OFFICE				
412N-2	STO.				
4120	OFFICE				
412P	OFFICE				
412Q	OFFICE				
412R	OFFICE				
412S	OFFICE				
412T 412V	OFFICE OPEN OFFICE				
412V 421A	OFFICE		 YES		
421B	OFFICE		YES		
425	MECH				
426	MECH.				
427A	HALL				
427B	OFFICE				
427C	OFFICE				
427D	OFFICE				
427E	OFFICE		YES		
427F	OFFICE		YES		
427G 427H	OFFICE				
441A	OPEN OFFICE				
441A-1	HALL				
441C	OFFICE		YES		
441D	OFFICE		YES		
441E	OFFICE		YES		
441F	OFFICE		YES		
441G	OFFICE		YES		
441H	OFFICE		YES		
4411	OFFICE		YES		
441L	OFFICE		YES		
441N	OFFICE		YES		
4410 441R	OFFICE		 YES		
443J	KITCHENETTE				
443K	OFFICE		YES		
443L	MEETING				
443N	OFFICE		YES		
483B	OFFICE	YES	YES		
483C	OFFICE	YES	YES		
483D	OFFICE	YES	YES		
4161	HALL				
4166	HALL				
4173	HALL				
4174 4174A	HALL				
4174A 4175	HALL				
4175	STAIR				

NOTE: SCHEDULE CELLS THAT CONTAIN "--" \ THAT KIND. EMPLOYEE NAMES TO BE INSERT SUBMITTED BY THE OWNER AT A LATER DATE

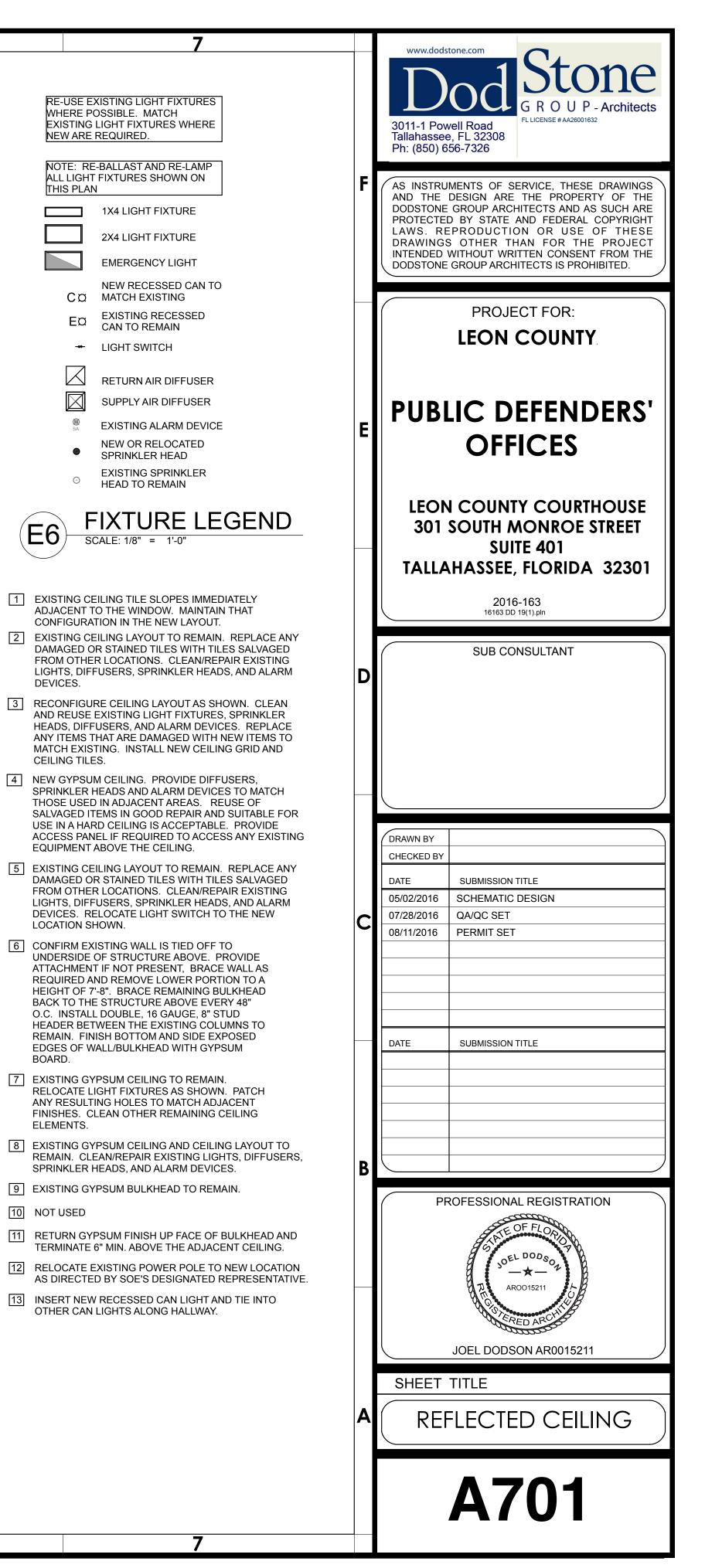


	7			
E E/ RT	ROOM # AND ROOM NAME/SPECIAL TEXT PLATE 		3011-1 Pow Tallahassee Ph: (850) 65	vell Road b, FL 32308
	 	F	AND THE DODSTONE PROTECTEL LAWS. RE DRAWINGS INTENDED \	MENTS OF SERVICE, THESE DRAWINGS DESIGN ARE THE PROPERTY OF THE GROUP ARCHITECTS AND AS SUCH ARE D BY STATE AND FEDERAL COPYRIGHT PRODUCTION OR USE OF THESE OTHER THAN FOR THE PROJECT WITHOUT WRITTEN CONSENT FROM THE GROUP ARCHITECTS IS PROHIBITED.
	 			PROJECT FOR: LEON COUNTY
	 	E	PUBL	IC DEFENDERS' OFFICES
	 "421 PUBLIC DEFENDER JUVENILE DIVISION" 		301 \$	I COUNTY COURTHOUSE SOUTH MONROE STREET SUITE 401 HASSEE, FLORIDA 32301
				2016-163 16163 DD 19.pln
		D		SUB CONSULTANT
	 "441 PUBLIC DEFENDER APPELLATE DIVISION" 		DRAWN BY CHECKED BY	
		~	DATE 05/02/2016 07/28/2016	SUBMISSION TITLE SCHEMATIC DESIGN QA/QC SET
			08/11/2016	PERMIT SET
	 "443J BREAK ROOM"		DATE	SUBMISSION TITLE
		B		
	 		(PR	ROFESSIONAL REGISTRATION
				$ \begin{array}{c} $
	"4175 STAFF ONLY" 			JOEL DODSON AR0015211
	L NOT REQUIRE A NEW SIGN OF INTO NAME PLATES WILL BE	Α	SHEET	IGNAGE PLAN
Η	EDULE			
	7			A103
	/			











GENERAL HVAC NOTES:

PROJECT.

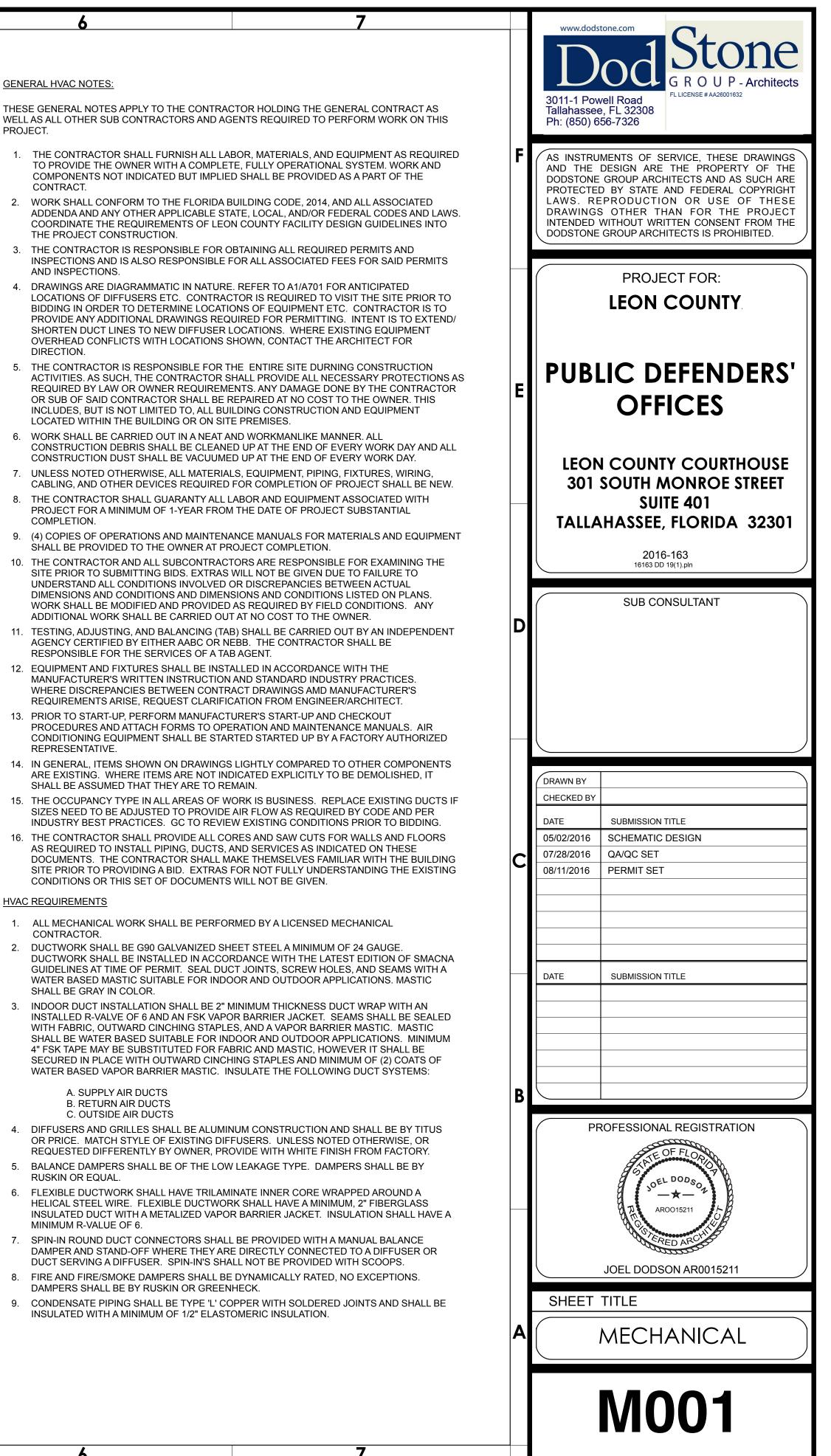
- CONTRACT.
- THE PROJECT CONSTRUCTION.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND AND INSPECTIONS.
- 4. DRAWINGS ARE DIAGRAMMATIC IN NATURE. REFER TO A1/A701 FOR ANTICIPATED OVERHEAD CONFLICTS WITH LOCATIONS SHOWN, CONTACT THE ARCHITECT FOR DIRECTION.
- LOCATED WITHIN THE BUILDING OR ON SITE PREMISES.
- 6. WORK SHALL BE CARRIED OUT IN A NEAT AND WORKMANLIKE MANNER. ALL
- PROJECT FOR A MINIMUM OF 1-YEAR FROM THE DATE OF PROJECT SUBSTANTIAL COMPLETION.
- UNDERSTAND ALL CONDITIONS INVOLVED OR DISCREPANCIES BETWEEN ACTUAL ADDITIONAL WORK SHALL BE CARRIED OUT AT NO COST TO THE OWNER.
- AGENCY CERTIFIED BY EITHER AABC OR NEBB. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SERVICES OF A TAB AGENT.
- 12. EQUIPMENT AND FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE
- 13. PRIOR TO START-UP, PERFORM MANUFACTURER'S START-UP AND CHECKOUT REPRESENTATIVE.
- SHALL BE ASSUMED THAT THEY ARE TO REMAIN.
- CONDITIONS OR THIS SET OF DOCUMENTS WILL NOT BE GIVEN.

HVAC REQUIREMENTS

- 1. ALL MECHANICAL WORK SHALL BE PERFORMED BY A LICENSED MECHANICAL CONTRACTOR.
- 2. DUCTWORK SHALL BE G90 GALVANIZED SHEET STEEL A MINIMUM OF 24 GAUGE. SHALL BE GRAY IN COLOR.

A. SUPPLY AIR DUCTS **B. RETURN AIR DUCTS** C. OUTSIDE AIR DUCTS

- RUSKIN OR EQUAL. 6. FLEXIBLE DUCTWORK SHALL HAVE TRILAMINATE INNER CORE WRAPPED AROUND A
- MINIMUM R-VALUE OF 6.
- 7. SPIN-IN ROUND DUCT CONNECTORS SHALL BE PROVIDED WITH A MANUAL BALANCE DUCT SERVING A DIFFUSER. SPIN-IN'S SHALL NOT BE PROVIDED WITH SCOOPS.
- DAMPERS SHALL BE BY RUSKIN OR GREENHECK.
- INSULATED WITH A MINIMUM OF 1/2" ELASTOMERIC INSULATION.



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DIVISION 16 - ELECTRICAL SPECIFICATIONS

16010 BASIC ELECTRICAL REQUIREMENTS

- A. ALL WORK AND EQUIPMENT UNDER THIS DIVISION SHALL BE IN STRICT COMPLIANCE WITH THE CODES, STANDARDS AND PRACTICES LISTED HEREIN, AND THEIR RESPECTIVE DATES ARE FURNISHED AS THE MINIMUM LATEST REQUIREMENTS.
 - STATE OF FLORIDA.
 - LIFE SAFETY CODE NFPA 101 (2012) UNDERWRITERS LABORATORIES, INC. PUBLICATIONS.
 - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA).
 - AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) NATIONAL ELECTRICAL CODE - NFPA 70 (2014).
 - NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION (NEMA).
 - NATIONAL FIRE PROTECTION ASSOCIATION 72.
 - THE STATE FIRE PREVENTION CODE, 4A60. 10. BUILDING CODE: FLORIDA BUILDING CODE (5th EDITION, 2014).
 - 11. LEON COUNTY'S FACILITY DESIGN GUIDELINES
- B. SCOPE OF WORK: THE WORK PROVIDED UNDER THIS DIVISION SHALL INCLUDE ALL LABOR, MATERIALS, PERMITS, INSPECTIONS, AND RE-INSPECTION FEES, TOOLS, EQUIPMENT, TRANSPORTATION, INSURANCE, TEMPORARY PROTECTION, TEMPORARY LIGHTING, SUPERVISION AND INCIDENTAL ITEMS ESSENTIAL FOR PROPER INSTALLATION AND OPERATION. EVEN WHEN NOT SPECIFICALLY MENTIONED OR INDICATED, ITEMS OR TASKS WHICH ARE USUALLY PROVIDED OR ARE
- ESSENTIAL FOR PROPER INSTALLATION AND OPERATION OF ALL ELECTRICAL SYSTEMS AS INDICATED IN CONTRACT DOCUMENTS IS INCLUDED. ANY ADDITIONAL ELECTRICAL DRAWINGS REQUIRED FOR PERMITTING ARE TO BE PREPARED BY THE GC'S OR THEIR SUB-CONSULTANTS. C. NOTICES: GIVE ALL NOTICES, FILE ALL PLANS, PAY ALL FEES, OBTAIN ALL PERMITS AND APPROVALS FROM AUTHORITIES HAVING JURISDICTION. INCLUDE ALL FEES IN THE BID PRICE.

D. INTERPRETATION OF DRAWINGS:

- 1. THE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW EXACT LOCATIONS. LOCATIONS OF CONDUIT RUNS, OUTLETS, BOXES AND SIMILAR DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY. EXACT LOCATIONS SHALL BE AS ACCEPTED BY THE ENGINEER DURING CONSTRUCTION. OBTAIN IN THE FIELD ALL INFORMATION RELEVANT TO THE PLACMENT OF ELECTRICAL WORK AND IN CASE OF INTERFERENCE WITH OTHER ITEMS, PROCEED AS DIRECTED BY THE ARCHITECT. PROVIDE ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK IN AN ACCEPTABLE AND CODE COMPLIANT MANNER.
- 2. DISCREPANCIES: NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES FOUND DURING CONSTRUCTION OF THE PROJECT. DO NOT PROCEED WITH THAT PORTION OF THE PROJECT, UNTIL A WRITTEN DEFINITIVE STATEMENT IS RECEIVED PROVIDING CLEAR INSTRUCTION. IF A CONFLICT EXISTS BETWEEN THE CONTRACT DOCUMENTS AND ANY APPLICABLE CODE OR STANDARD. THE MOST STRINGENT REQUIREMENT SHALL BE INCLUDED FOR THIS PROJECT. THE ENGINEER/ARCHITECT SHALL MAKE THE DECISION REGARDING QUESTIONABLE AREAS OF CONFLICT. ANY WORK PERFORMED WITHOUT APPROVAL IN WRITING WILL BE DONE AT THE INSTALLER'S RISK.

E. INVESTIGATION ON SITE:

- 1. GENERAL: BEFORE COMMENCING THE WORK, THE GC AND/OR THEIR SUBS MUST VERIFY EXISTING CONDITIONS AT THE PREMISES INCLUDING, BUT NOT LIMITED TO, EXISTING STRUCTURAL ELEMENTS AND ALL DIMENSIONS/CLEARANCES; EXISTING OPENINGS AND CHARACTERISTICS; EXISTING WALL AND PARTITION LOCATIONS, CHARACTERISTICS AND RELATIONSHIP TO EACH OTHER; EXISTING MECHANICAL AND ELECTRICAL WORK, EQUIPMENT TYPE, AND EXAMINE ALL ADJOINING WORK UPON WHICH THIS WORK IS IN ANYWAY DEPENDENT FOR ITS PERFECT EFFICIENCY ACCORDING TO THE INTENT OF THE CONTRACT DOCUMENTS.
- 2. POWER OUTAGE: SPECIAL ATTENTION IS CALLED TO THE FACT THAT WORK INVOLVED WILL BE CONDUCTED WITHIN AN EXISTING BUILDINGS WHICH WILL REMAIN IN OPERATION AND OCCUPIED WHILE WORK IS BEING PERFORMED. WORK MUST BE DONE IN ACCORDANCE WITH THE PRIORITY SCHEDULE. SCHEDULE WORK FOR A MINIMUM OUTAGE TO OWNER/TENANTS. REQUEST WRITTEN PERMISSION AND RECEIVE WRITTEN ACCEPTANCE FROM THE OWNER/TENANT NO LATER THAN 24 HOURS IN ADVANCE OF ALL POWER AND COMMUNICATION SHUT-DOWNS. PERFORM WORK REQUIRED AT OTHER THAN STANDARD WORKING HOURS WHERE OUTAGES CANNOT BE ACCEPTED BY OWNER/TENANT DURING REGULAR WORKING HOURS. PROTECT EXISTING BUILDING AND EQUIPMENT DURING CONSTRUCTION.
- 3. SPECIAL CONSIDERATIONS: SPECIAL ATTENTION IS CALLED TO THE FACT THAT THERE WILL BE PIPING, FIXTURES OR OTHER ITEMS IN THE EXISTING BUILDING WHICH MUST BE REMOVED OR RELOCATED IN ORDER TO PERFORM THE ALTERATION WORK. BID SHALL INCLUDE ALL REMOVAL AND RELOCATION REQUIRED FOR COMPLETION OF THE ALTERATIONS AND THE NEW CONSTRUCTION.
- 4. DEMOLITION GENERAL: DURING THE EXECUTION OF WORK, ALL REQUIRED RELOCATION, REROUTING, ETC., OF EXISTING EQUIPMENT AND SYSTEMS IN THE EXISTING BUILDING AREAS WHERE THE WORK IS REQUIRED. SHALL BE PERFORMED BY THE CONTRACTOR AS INDICATED ON THE DRAWINGS, OR AS REQUIRED BY JOB CONDITIONS AND AS DETERMINED BY THE ARCHITECT IN THE FIELD. TO FACILITATE THE INSTALLATION OF NEW SYSTEMS. THE OWNER SHALL REQUIRE CONTINUOUS OPERATION OF THE EXISTING SYSTEMS, WHILE DEMOLITION, RELOCATION WORK OR NEW TIE-INS ARE PERFORMED. 5. OWNER'S SALVAGE: THE OWNER RESERVES THE RIGHT TO INSPECT THE MATERIAL SCHEDULED FOR REMOVAL AND SALVAGE ANY ITEMS HE DEEMS
- USABLE AS SPARE PARTS.

F. EXISTING CONDITIONS:

- 1. SUPPORT: ALL EXISTING CONDUIT AND CABLES WITHIN THE AREA OF RENOVATION SHALL BE PROVIDED WITH PROPER SUPPORTS AS SPECIFIC FOR NEW WORK IN OTHER SECTIONS OF THIS SPECIFICATION.
- 2. INSTALLATION: ALL EXISTING ELECTRICAL WHICH IS DESIGNATED FOR REWORKING OR REQUIRES RELOCATION, REPAIR OR ADJUSTMENT SHALL
- CONFORM TO ALL APPLICABLE CODES AND SHALL BE TREATED AS NEW WORK COMPLYING TO ALL SECTIONS OF THIS SPECIFICATION 3. VIOLATIONS: WHERE EXISTING CONDITIONS ARE DISCOVERED WHICH ARE NOT IN COMPLIANCE WITH THE CODES AND STANDARDS, THE CONTRACTOR SHALL SUBMIT PROPER DOCUMENTATION TO THE ARCHITECT FOR CLARIFICATION AND CORRECTIVE WORK DIRECTION. EXISTING
- CONDITIONS SHALL NOT REMAIN WICH WILL CREATE A DISAPPROVAL OF THE RENOVATED AREA OR PRESENT A LIFE SAFETY HAZARD. 4. PATCHING: ALL EXISTING CONDUIT AND CABLE PENETRATIONS SHALL BE PROPERLY FIRE TREATED PER CODE AND SPECIFICATION REQUIREMENTS. THE CONTRACTORS SHALL THOROUGHLY INSPECT ALL EXISTING LOCATIONS AND INCLUDE THE COST OF PATCHING AND REPAIR IN HIS PROPOSED CONSTRUCTION COST.
- 5. ALL CONDUIT INSTALLED UNDER THIS CONTRACT IS TO BE CONCEALED. BID SHOULD INCLUDE COST TO OPEN AND PATCH EXISTING WALLS. SURFACE MOUNTED CONDUIT WILL NOT BE ACCEPTED.
- G. ALL MATERIALS SHALL BE NEW, FREE FROM DEFECTS AND SHALL BE EITHER U.L. LABLED, U.L. LISTED OR BEAR THE SEAL OF A NATIONALLY RECOGNIZED ELECTRICAL TESTING LABORATORY.
- H. SHOP DRAWINGS ARE REQUIRED FOR ALL MATERIALS AND EQUIPMENT.
- I. ALL EQUIPMENT SHALL BE FIRMLY MOUNTED USING APPROVED HANGERS ATTACHED TO STRUCTURAL PORTIONS OF THE BUILDING. SUPPORTING WITH TIE WIRE IS PROHIBITED. LIGHT FIXTURES RECESSED IN THE CEILING SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE INDEPENDENT OF THE CEILING SYSTEM.
- J. SYSTEMS GUARANTEE: PROVIDE A ONE-YEAR GUARANTEE. THIS GUARANTEE SHALL BE BY THE CONTRACTOR TO THE OWNER FOR ANY DEFECTIVE WORKMANSHIP OR MATERIAL WHICH HAS BEEN PROVIDED UNDER THIS CONTRACT TO NO COST TO THE OWNER FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT. EXPLAIN THE GUARANTEE TO THE OWNER AT THE "DEMONSTRATION OF COMPLETED SYSTEM".

16030 ELECTRICAL IDENTIFICATION

- A. ALL LANGUAGE IDENTIFICATION SHALL BE IN ENGLISH.
- B. EQUIPMENT SYSTEMS MARKERS SHALL BE ENGRAVED PLASTIC. LAMINATE NAMEPLATES SHALL BE ADHESIVE OR PRE-TENSIONED SNAP ON COLOR CODED, SYSTEM MARKING MATERIALS
- C. CONDUIT, RACEWAYS, BOXES, ETC. SHALL BE SPOT PAINTED. CONDUIT SHALL BE IDENTIFIED WITHIN 6 INCHES OF THE BOX OR ENCLOSURE. THE ENTIRE BOX COVERPLATE SHALL BE PAINTED.
- D. USE THE FOLLOWING COLORS FOR COLOR BANDS AND FOR COLOR CODING.

SYSTEM	<u>COLOR</u> BRIGHT YELLOW
1) LIFE SAFETY 2) NORMAL POWER	WHITE
3) FIRE ALARM	RED
4) TELEPHONE/COMPUTER	BLACK

- E. CABLE AND CONDUCTOR IDENTIFICATION WILL BE AS PER NFPA 70
- F. IDENTIFY RECEPTACLES AND SWITCHES WITH THE CIRCUIT NUMBER AND PANEL THAT THEY ARE SERVED FROM USING ENGRAVED WALLPLATE.

16110 BASIC MATERIALS AND METHODS

A. RACEWAYS AND FITTINGS:

- 1. ALL WIRING SHALL BE INSTALLED IN APPROPRIATE RACEWAY SYSTEMS OF RIGID GALVANIZED CONDUIT, ELECTRIC METALLIC TUBING, FLEXIBLE STEEL CONDUIT AND LIQUID-TIGHT FLEXIBLE CONDUIT AS CONDITIONS AND CODES DICTATE. EMT SHALL BE JOINED WITH STEEL COMPRESSION TYPE FITTINGS. 2. FLEXIBLE CONDUIT SHALL BE USED ONLY FOR FIXTURE WHIPS AND SHALL NOT EXCEED 72". 3. ALL CONDUIT SHALL HAVE AN INSULATED COPPER EQUIPMENT GROUNDING CONDUCTOR THROUGHOUT THE ENTIRE LENGTH OF THE CIRCUIT WITHIN
- THE CONDUIT.

16120 WIRES AND CABLES

- A. ALL BRANCH CIRCUITS SHALL BE COPPER WITH THHN OR THWN INSULATION, MINIMUM SIZE #12 AWG. SIZES #10 AWG AND SMALLER SHALL BE SOLID. B. COLOR CODING SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE, 2014 EDITION SPECIFICALLY. PHASE CONDUCTORS OF EACH VOLTAGE SYSTEM MUST BE
- OF A DIFFERENT COLOR. NEUTRALS SHALL BE WHITE FOR 120/208 AND GRAY FOR 277/480. EQUIPMENT GROUNDING CONDUCTORS SHALL BE GREEN INSULATED. C. ALL SINGLE PHASE CIRCUITS SHALL HAVE DEDICATED NEUTRAL CONDUCTORS. NO NEUTRAL CONDUCTORS SHALL BE SHARED.

16130 OUTLET BOXES

A. OUTLET BOXES SHALL BE ONE PIECE OF PROJECTION WELDED, GALVANIZED STAMPED STEEL FOR GANG SIZES REQUIRED. SECTIONAL BOXES ARE NOT ACCEPTABLE. BOXES SHALL BE 4" SQUARE AND 1-1/2" DEEP GENERALLY. LARGER BOXES SHALL BE USED AS REQUIRED BY CODE. 16140 WIRING DEVICES

- A. ALL RECEPTACLES SHALL BE 20 AMP, 125 VOLT GROUNDING TYPE, (HOSPITAL GRADE) AND MOUNTED AT 18" AFF. B. SWITCHES SHALL BE 20 AMP, 125V SILENT TYPE, SPECIFICATION GRAE, AND MOUNTED AT 48" AFF.
- C. DEVICE PLATED SHALL BE THERMOPLASTIC COLOR MATCHING DEVICE. DEVICE COLORS SHALL MATCH EXISTING USED IN ADJACENT AREAS. EMERGENCY RECEPTACLES SHALL BE RED.
- D. APPROVED MANUFACTURERS: HUBBEL, PASS & SEYMOR, LEVITON.

16740 TELEPHONE/DATA RACEWAY SYSTEM

- A. TELEPHONE/DATA SYSTEM: PROVIDE AN EMPTY RACEWAY SYSTEM READY FOR CABLING. PROVIDE CONDUIT, OUTLET BOXES, AND MEANS FOR PULLING CABLE. B. UNLESS NOTED OTHERWISE, PROVIDE 1" CONDUIT FROM EACH COMMUNICATION OUTLET BOX TO THE CABLE TRAY. BOND THE CABLE TRAY AND COMMUNICATION CONDUIT.
- C. CABLING WILL BE INSTALLED UNDER A SEPARATE CONTRACT.

16720 FIRE ALARM SYSTEM EXTENSIONS

- A. FIRE ALARM AND DETECTION: PROVIDE ADDITIONS TO EXISTING SYSTEMS AS INDICATED ON DRAWINGS OR AS REQUIRED BY CODE. ALL WIRING SHALL BE IN CONDUIT, 3/4" MINIMUM.
- B. TEST SYSTEMS AS REQUIRED BY NFPA 72 AND AS DIRECTED BY SYSTEM MANUFACTURER.

DEMOLITION NOTES:

- 1. IN GENERAL, THE ELECTRICAL ITEMS AND ASSOCIATED DEVICES SHOWN DASHED SHALL BE REMOVED AND THOSE ITEMS SHOWN LIGHTLY ARE TO REMAIN.
- 2. ALL SERVICES WETHER SHOWN OR NOT, WHICH ARE TO REMAIN, SHALL BE MAINTAINED BY THE CONTRACTOR AND SERVICE SHALL BE REROUTED AS REQUIRED TO MAINTAIN THEM.
- 3. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR THE DEMOLITION WORK REQUIRED, THE NEW WORK, AND THE GENERAL DEMOLITION.
- CONTRACTOR IS RESPONSIBLE FOR 4. REMOVING AND RE-INSTALLING CEILING TILES AND CEILING TILE SUPPORTS, ETC. DAMAGE BY CONTRACTOR, SHALL BE REPLACED BY CONTRACTOR. PROVIDE A LIST SIGNED BY THE OWNER. SEND COPY TO THE ARCHITECT.

LIGHTING GENERAL NOTES:

- THE ELECTRICAL CONTRACTOR SHALL BECOME FAMILIAR WITH ALL OTHER CONTRACT DOCUMENTS, AND SHALL BE RESPONSIBLE FOR THE ELECTRICAL WORK REQUIRED BY THESE DOCUMENTS.
- 2. COORDINATE SWITCH BOX LOCATIONS WITH FURNITURE, CABINETS, DOORS, SIDE LITES, ETC. IN GENERAL, SWITCHES SHALL BE ADJACENT TO THE LATCH SIDE OF THE DOOR.
- COORDINATE ROUTING OF CONDUITS 3. WITH OTHER TRADES. CONDUITS SHALL BE RUN PARALLEL AND PERPENDICULAR TO WALLS, CEILINGS, AND FLOORS. PROVIDE JUNCTION AND/OR PULL BOXES AS REQUIRED BY FIELD CONDITIONS. CONCEAL CONDUIT IN WALLS AND ABOVE CEILINGS.
- 4. PROVIDE IDENTIFICATION FOR EQUIPMENT, DEVICES & BRANCH CIRCUIT CONDUCTORS AS CALLED FOR IN THE SPECIFICATIONS.
- MATCH MOUNTING HEIGHTS OF NEW ITEMS WITH EXISTING ITEMS OF THE SAME TYPE UNLESS NOTED OTHERWISE.
- REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS, EQUIPMENT SCHEDULES AND DETAILS.
- COORDINATE THE LOCATION OF LIGHTS, ETC. WITH OTHER TRADES. IN GENERAL, LIGHTS, ETC. SHALL BE MOUNTED AS SHOWN ON ARCHITECTURAL REFLECTED CEILING PLAN.
- CONTRACTOR SHALL PROVIDE STRUCTURAL SUPPORT AS REQUIRED TO INSTALL LIGHTING FIXTURES.
- EMERGENCY AND NORMAL POWERED LIGHTING BRANCH CIRCUITS SHALL BE INSTALLED IN SEPARATE RACEWAY SYSTEMS PER NEC 700.
- 10. EXISTING BRANCH CIRCUITS SHALL BE REPLACED TO PROVIDE CIRCUITING AS INDICATED/AS NEEDED/AS REQUIRED BY CODE.
- 11. EXISTING LIGHT FIXTURES CAN BE RE-USED IN AREAS WHERE THEY WILL MATCH THE OTHER FIXTURES.

POWER & SYSTEMS GENERAL NOTES:

- 1. THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS, ALL OTHER CONTRACT DOCUMENTS, AND SHALL BE RESPONSIBLE FOR THE ELECTRICAL WORK REQUIRED BY THESE DOCUMENTS.
- 2. THE ELECTRICAL CONTRACTOR SHALL BECOME FAMILIAR WITH ALL OTHER CONTRACT DOCUMENTS, AND SHALL BE RESPONSIBLE FOR THE ELECTRICAL WORK REQUIRED BY THESE DOCUMENTS.
- 3. OUTLET BOXES SHALL NOT BE MOUNTED BACK TO BACK. OFFSET OUTLET BOXES TO MINIMIZE SOUND TRANSMISSION BETWEEN ROOMS.
- 4. COORDINATE OUTLET BOX LOCATIONS WITH FURNITURE, CABINETS, AND EQUIPMENT.
- COORDINATE SWITCH SWITCH BOX 5. LOCATIONS WITH FURNITURE, CABINETS, DOORS, SIDE LITES, ETC.. IN GENERAL SWITCHES SHALL BE ADJACENT TO LATCH SIDE OF DOOR.
- COORDINATE ROUTING OF CONDUITS WITH OTHER TRADES. CONDUITS SHALL BE RUN PARALLEL AND PERPENDICULAR TO WALLS, CEILINGS, AND FLOORS PROVIDE JUNCTIONS AND/OR PULL BOXES AS REQUIRED BY FIELD CONDITIONS.
- 7. PROVIDE IDENTIFICATION FOR EQUIPMENT, DEVICES & BRANCH CIRCUIT CONDUCTORS AS CALLED FOR IN THE SPECIFICATIONS.
- 8. MOUNT DEVICES AT SAME HEIGHTS AS OTHERS OF THE SAME TYPE IN THE SAME AREA UNLESS NOTED OTHERWISE.
- REFER TO PROJECT SPECIFICATIONS 9. FOR ADDITIONAL REQUIREMENTS, EQUIPMENT SCHEDULES AND DETAILS.
- 10. COORDINATE THE LOCATION OF LIGHTS, ETC. WITH OTHER TRADES. IN GENERAL LIGHTS, ETC. SHALL BE MOUNTED IN THE CENTER OF A CEILING TILE. RFER TO ARCHITECTURAL REFLECTED CEILING PLAN.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY FIRE DETECTION AND ANNUNCIATION FOR AREAS UNDER THIS CONTRACT. THE CONTRACTOR SHALL NOTIFY AND SCHEDULE WITH THE OWNER PRIOR TO PROCEEDING WITH FIRE ALARM WORK. PROVIDE FIRE WATCH PERSONNEL AS REQUIRED BY NFPA 101 AND AS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ) FOR PERIODS WHEN THE FIRE ALARM SYSTEM IS INOPERABLE DUE TO PROJECT CONSTRUCTION.
- 12. NEUTRAL CONDUCTORS SHALL NOT BE SHARED.
- 13. PROVIDE FOR EACH DATA OUTLET A CONCEALED 1" FROM EACH OUTLET BOX TO THE NEAREST EXISTING TELE-COMM ROOM ABOVE THE CEILING. BOND THE CONDUIT THE CABLE TRAY, WITHIN TELE-COMM ROOM WITH A #12G.

