

Additional Information for Meeting, Tuesday, June 14, 2016

Public Hearing

Additional Information:

20. First and Only Public Hearing to Consider the Recommended Order of the Special Master on the Site and Development Plan Application for the Residential Condominiums on Blountstown Highway exhibit #19 added to Attachment #2.

This document distributed June 8, 2016.

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Exhibit 1

Written Preliminary Decision dated February 5, 2016



Leon County

Board of County Commissioners

301 South Monroe Street, Tallahassee, Florida 32301
(850) 606-5302 www.leoncountyfl.gov

DEVELOPMENT SUPPORT AND ENVIRONMENTAL MANAGEMENT
Development Services Division
435 N. Macomb Street, 2nd Floor
Tallahassee, Florida 32301-1019
Phone Number (850) 606-1300

Commissioners

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County Administrator

HERBERT W.A. THIELE
County Attorney

February 5, 2016

Floresta, LLC
c/o Tom O' Steen, P.E.
Moore Bass Consulting, Inc.
805 Gadsden Street
Tallahassee, FL 32311

RE: Residential Condominiums on Blountstown Highway
Type "A" Site and Development Plan, CPA Track
Written Preliminary Decision - Approval with Conditions
Leon County Project ID No.: LSP160001
Tax Parcel Identification Number: 21-31-20-007-0030

Dear Mr. O' Steen:

This letter is to notify you that the Leon County Department of Development Support and Environmental Management (DSEM) has approved the above-referenced site and development plan, subject to the conditions outlined in the Development Services Staff Report (Attachment #1) presented at the January 27, 2016 Application Review Meeting (ARM) and within the Notice of Application Deficiency Letter (Attachment #2) dated February 2, 2016. The review process for this application was completed in accordance with the DSEM procedures for Type "A" Site and Development Plans (Section 10-7.403 of the Leon County Land Development Code).

Subsequent to the action of the County Administrator or designee to approve a Type "A" site and development plan subject to conditions, the applicant shall furnish for review and verification by the County, a revised site and development plan application demonstrating compliance with all conditions. The revised site and development plan shall be submitted to the County Administrator or designee within 90 days of the date of approval entity's action; however, the applicant may, upon demonstration of good faith effort and hardship that is not self-created, be granted a 90-day extension by the County Administrator or designee. Subsequent 90-day extensions may be requested and granted based on the same criteria. Failure to comply with these time limits shall render the site and development plan application approval expired.

Please submit one (1) hard copy of the revised site and development plan with signature block and upload a digital set to Project Dox. If you have any questions about the

Residential Condominiums on Blountstown Highway (LSP160001),
Type "A" Site and Development Plan, CPA Track
February 5, 2016
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information contained in this letter, please contact the Project Manager (Nancy Garcia). After the revised site and development plan has been received by this office, it will be provided to the County Administrator or designee for signature. After signature, a copy will be digitally uploaded into the Project Dox system for access by all interested parties. Please be advised that the site and development plan should only reflect changes that may be necessary to satisfy the above-referenced conditions. In all other regards, the plan should be identical to the site and development plan originally submitted for review.

Pursuant to Section 10-7.403 of the Leon County Land Development Code, the written preliminary decision of the County Administrator or designee shall become the final decision 15 calendar days after it is rendered unless a person who qualifies as a party, as defined in Section 10-7.414, and who had filed written comments with the DSEM prior to the adjournment of the ARM at which the decision was rendered files a Notice of Intent to file an appeal of a decision on a site and development plan application. Subsequent to the filing of a Notice of Intent, a Petition must be filed within 30 calendar days from the date of rendition of the County Administrator or designee's decision. Petitions shall be made in writing and filed at the DSEM, and shall include the project name, application number, a description of the facts upon which the decision is challenged and all allegations of inconsistency with the Comprehensive Plan and land development regulations and any argument in support thereof. Failure to file both a Notice of Intent and a Petition is jurisdictional and will result in a waiver of the hearing. Hearings before a special master will be conducted in accordance with the procedures outlined in Section 10-7.414 and 10-7.415.

This conditional approval was based on the information presented at the ARM on January 27, 2016, and is intended to meet the procedural requirements of the Leon County Code of Laws. As such, it does not waive any other applicable local, state, or federal regulations.

If you have any questions, please do not hesitate to contact Nancy Garcia of our office at (850) 606-1300 or send email to "GarciaN@leoncountyfl.gov."

Sincerely,



David McDevitt
Department of Development Support & Environmental Management Director

- Attachments:
1. Development Services Staff Report from the January 27, 2016 ARM Meeting Outlining Conditions of Approval
 2. Notice of Application Deficiency #1, dated February 2, 2016

cc: ProjectDox File LSP160001
J.P. Lepez, P.O. Box 1576, Tallahassee, FL 32302
Carol Smith, 5229 Blountstown Highway, Tallahassee, FL 32304
Mike Urban, 1931 Sika Deer Drive, Tallahassee, FL 32307



LEON COUNTY
DEPARTMENT OF DEVELOPMENT SUPPORT &
ENVIRONMENTAL MANAGEMENT
DEVELOPMENT SERVICES DIVISION

APPLICATION REVIEW MEETING

January 27, 2016 @ 1:30 p.m.

RECOMMENDATION: TBD AT MEETING

PROJECT NAME: Proposed Residential Condominiums on Blountstown Highway
PROJECT ID #.: LSP160001
PARCEL I.D. NUMBER: 21-31-20-007-0030
PROJECT ACREAGE: 4.09 +/- acres (33.52 +/- total acreage)
LEVEL OF REVIEW: Type "A" Site Plan, CPA Track
PROPERTY OWNER: Ameris Bank
7915 Baymeadows Way, Suite 300
Jacksonville, FL 32256

APPLICANT: Floresta, LLC
2073 Summit Lake Drive, Suite 155
Tallahassee, FL 32317

OWNER'S AGENT: Tom O'Steen
Moore Bass Consulting, Inc.
805 N. Gadsden Street
Tallahassee, FL 32303

ZONING DISTRICT: Single-and-Two Family Residential (R-3)
FUTURE LAND USE: Urban Residential 2 (UR-2)
DENSITY/INTENSITY: 5.8 du/acre (24 units total)
LOCATION: 5044 Blountstown Highway
ROADWAY ACCESS: Blountstown Highway (Principle Arterial Roadway)
Private Access Easements

UTILITY PROVIDER: City of Tallahassee Utilities
APPROVAL BODY: County Administrator or designee

PROJECT SUMMARY: The project consists of a Phase I of a single-family residential (condominium) project to be developed on 4.09 acres of the total parcel. This initial phase of this project will consist of 24 single-family m units. Future phases of construction may include community buildings and additional dwelling units based on market conditions. The parcel is located inside the Urban Service Area (USA) and is zoned Single-and-Two Family Residential (R-3). The parcel has an Urban Residential 2 (UR-2) future land use designation, according to the Future Land Use Map of the Tallahassee-Leon County Comprehensive Plan. The development will access Blountstown Highway, a Principal Arterial Roadway. A Permitted Use Verification certificate (VC150155R) was issued as 'Eligible' for the development on January 13, 2016.

DEVELOPMENT SERVICES STAFF REVIEW:

Article VII. Subdivision and Site and Development Plan Regulations:

Site and Development Plan Criteria, Article VII, Section 10-7.407:

The Leon County Land Development Code requires that a site and development plan comply with three general standards those include:

1. Whether the applicable zoning standards and requirements have been met.
2. Whether the applicable provisions of the Environmental Management Act have been met.
3. Whether the requirements of Chapter 10 and other applicable regulations or ordinances which impose specific requirements on site and development plans and development have been met.

Division 1. Subdivision and Site and Development Plan Regulations

Compliance and Consistency with Comprehensive Plan (Sec. 10-7.108 and Sec. 10-7.109)

- (a) All proposed subdivisions or development shall be designed to be consistent with the adopted Comprehensive Plan, as amended.
- (b) All proposed subdivisions or development shall be designed to comply with at least the county zoning, building regulations, concurrency, and environmental management ordinances, and such other applicable land development regulations, ordinances, and policies, for the area in which the proposed subdivisions or development shall be located.
- (c) In accordance with this article and other applicable requirements of the local Comprehensive Plan and county ordinances, land, proposed subdivision or site and development plans shall be suitable for the characteristics of the underlying land. Sites where topographic features, flooding potential, drainage, soil type or other site specific features are likely to harm neighboring landowners, future users of the subject property, natural resources or public infrastructure demand, shall not be developed and/or subdivided, unless adequate methods of mitigation or correction of the harm area formulated by the developer and accepted by the county.
- (d) Any applicant subdividing land shall record an approved final plat in accordance with the requirements of this chapter.
- (e) The adequacy of necessary public or private facilities and services for traffic and pedestrian access and circulation, solid waste, waste water disposal, potable water supply, storm water management, parks and recreation and similar public facilities and services, shall be considered in the review of all subdivision or development site and development plan proposals to assure the concurrency requirements of the local Comprehensive Plan and county ordinances are met.
- (f) Unless installation of a required improvement is waived pursuant to Division 6, no final plat or certified survey shall be recorded until a site and development plan, as required by this article, has been approved, the required infrastructure or development improvements which are applicable to the subject parcel or parcels are completed or an appropriate surety instrument, as approved in advance by the County Attorney, is posted, in accordance with the requirements of this article, and the terms and conditions of any applicable development order have been fulfilled.
- (g) Where applicable, no parcel shall be approved for platting for any purpose unless it is suitable for a use permitted by Article VI. No parcel shall be approved for development unless it is consistent with the local Comprehensive Plan and contains an adequate development site, both in size for the use intended and in its relationship to abutting land uses.

DEVELOPMENT SERVICES STAFF FINDINGS:

COMPREHENSIVE PLAN

The subject site is located within an area designated (Policy 2.2.24) on the Future Land Use Map of the City of Tallahassee-Leon County Comprehensive Plan. According to Policy 2.2.24 of the Land Use Element, the major function of the Urban Residential 2 designation is to promote infill development, reducing urban sprawl, and maximizing the efficiency of infrastructure.

Finding #1: A Comprehensive Plan consistency determination shall be obtained from the Tallahassee-Leon County Planning Department. Please refer to the attached memorandum from the Tallahassee-Leon County Planning Department (Attachment #1).

ARTICLE III. CONCURRENCY

According to Section 10-3.105(a) of the LDC, no final development order can be issued until such time it is determined that there is sufficient available capacity of concurrency facilities to meet level of service standards for the existing population, vested development, and for the proposed development. All proposed development (except vested development) shall undergo a concurrency review. In the event the proposed development trips deficient segments of a roadway facility, for example, that applicant has the option of entering into a proportionate fair share agreement to mitigate associated impacts. Additional information on mitigation of impacts and the criteria established for mitigation is set forth in the Concurrency Policies and Procedures Manual.

Finding #2: An Application for Concurrency Review was submitted prior to site plan submittal and a Preliminary Certificate of Concurrency (LCM160001) has been issued for this project. A final certificate of concurrency will be issued upon site plan approval. Please contact Ryan Guffey, AICP, Concurrency Manager at 606-1386 with any questions related to concurrency management.

ARTICLE IV. ENVIRONMENTAL MANAGEMENT

The application must comply with the regulations and standards set out in the following sections of Article IV: [Topographic alterations (Section 10-4.327); Stormwater management facilities (Section 10-4.301); Protected Trees (Section 10-4.362); Tree Protection Requirements (Section 10-4.363); Pre-Development Reviews (Section 10-4.202); Natural Area Requirements (Section 10-4.345)].

Finding #3: A Natural Features Inventory (LEA150065) was approved with conditions on January 11, 2016. An Environmental Impact Analysis (EIA) (LEA160002) has been filed and is currently under review. An Environmental Management Permit (EMP) is required for this project prior to construction. EMP shall be completed and approved within 1 year of issuance of site plan approval.

Please refer to comments from the Environmental Services Division (Attachment #2) as they relate to the sections above and any other provisions set forth in Article IV of the Land Development Code. Please note, a markup layer has been added to ProjectDox addressing many of the comments outlined within the memorandum.

Single-and-Two Family Residential (R-3) Zoning District (Section 10-6.637, Land Development Code)
The R-3 district is intended to be located in areas designated Bradfordville Mixed Use, Urban Residential, Urban Residential 2, or Suburban on the Future Land Use Map which contain or are anticipated to contain a wide range of single-family and two-family housing types. The maximum gross density allowed for new residential development in the R-3 district is eight dwelling units per acre; a minimum density of four dwelling units per acre is required when applied to the Urban Residential future land use category.

Development Standards	Required	Provided
Front yard setback	20 feet	20 feet
Side interior yard setback	7.5 feet on each side; or any combination of setbacks that equals at least 15 feet, provided that no such setback shall be less than 5 feet	15 feet
Rear yard setback	25 feet	Not specified
Maximum Building Height	3 stories	height in feet not specified

Finding #4: The project appears to meet the applicable building setbacks, height and size requirements; however, please annotate the height of the building (in feet) in the site data table alongside the minimal requirements. Please clarify that the setbacks provided in the site data table are the perimeter setbacks for the development. The applicant will need to also provide the proposed setback between structures to ensure compliance with the Florida Building Code requirements.

General Layout and Design Standards (Section 10-7.502).

The proposed site plan shall comply with the general layout and design standards of this section. These design standards pertain to streets, driveways, lots and lot designs, stormwater management areas, pedestrian and bikeways and facilities, proposed utility locations including easements, public/private street designations, utility systems and protection of natural features. Within the urban services area, multifamily development shall be designed to require vehicular and pedestrian cross access to adjacent commercial, office, multifamily, recreation and community facility uses.

Finding #5: The development has additional means of ingress/egress along the western property line as per the easement recorded in OR Bk 2482, Pg 167. The development shall be designed to provide interconnection that extends to undeveloped or partially developed land that is adjacent to the development site. The proposed roadway interconnection stub-out in the parking lot shall be constructed to extend to the property line to provide for interconnection of future development.

General Principles of Design Relating to Impacts on Nearby Owners (Section 10-7.505)

Developments shall be designed to be as compatible as practical with nearby residences. The standards included in this section identify design approaches that can be incorporated to facilitate compatibility. Preferred design alternatives are listed at the end of this report.

Finding #6: Please provide a landscape sheet as part of the site plan set that meets the intent of this section by providing vegetative screens and buffers to parking and waste collection areas. Preservation of existing trees and vegetation should be retained in these areas.

Finding #7: It is recommended that the dumpster location be relocated to accommodate a more feasibly accessible location for future residents. Additionally, it is recommended that the applicant explore location options so not to aesthetically impair the entrance of the development.

Finding #8: A lighting plan for the development has not been provided. Please show the height, type and style of lighting being proposed for the development on a separate site plan sheet. Dark-sky friendly fixtures are preferred in which the source of illumination is concealed. General ground lighting such as spot or flood lights are discouraged.

Buffer Zone Standards (Section 10-7.522).

A buffer zone is a landscaped strip along parcel boundaries that serve a buffering and screening function between uses and zoning districts, provides an attractive boundary of the parcel or use. The width and degree of vegetation required depends on the nature of the adjoining uses. The buffer matrix in this section of the code is utilized to determine the type of buffer. A buffer fence shall be required in addition to minimum landscaping standards, when residential uses are adjacent to existing non-residential uses, in this case offices.

Finding #9: The proposed development has provided a 30-foot Type "D" Buffer along the western and eastern property lines adjacent to the existing single-family uses. The existing ingress/egress easement along the western property line seems to be in direct conflict with the proposed Type "D" buffer. As noted in finding #6, preservation of existing trees and vegetation should be retained in these areas and augmented where necessary. Please refer to additional comments from Environmental Services and Public Works.

Public Water Supply, Sanitary Sewer and Electrical Services (Sections 10-7.523 - 10-7.526).

The proposal is located within the City of Tallahassee utility area. The site plan indicates that electrical utilities will be underground and that design will be provided by the City of Tallahassee.

Finding #10: The applicant shall obtain approval of the proposed utility service plan from the City of Tallahassee. A copy of the approval must be on file with Development Services prior to site and development plan approval. Please refer to comments from City of Tallahassee Water Resource Engineering Division (Attachment #3).

Fire Protection Facilities (Section 10-527).

All development within the USA shall be required to provide fire protections by means of hydrant placement and fire flow in accordance with the requirements and specifications of the City of Tallahassee.

Finding #11: The applicant shall obtain approval of the proposed fire protection facilities from the City of Tallahassee Fire Department prior to site plan approval. Please refer to comments from Gary Donaldson of the City of Tallahassee Fire Department (Attachment #4).

General requirements for sidewalks with new development (Sections 10-7.529).

New development within the urban services area (USA) should be designed and constructed to implement a pedestrian mobility system that facilitates access to residential development, business establishments, community facilities and other non-residential land uses, and, provides safe and convenient linkage between developments and between the public and private street system.

Finding #12: Sheet 3.0 of the site plan shows a proposed 5 feet sidewalk along the southern portion of the subject property. The proposed sidewalk shall be designed to connect the existing sidewalk along Blountstown Highway.

Number of Off-Street Parking Spaces (Section 10-7.545) – Includes Schedule 6-2.

The number of off-street parking spaces required for single-family detached dwelling units is 1.5 spaces/ unit for single-family dwellings proposing 1, 2 and 3 bedrooms. Any deviation from the range of required parking established within Schedule 6-2 would require approval or approval with conditions by the parking standards committee.

Finding #13: The applicant has provided a parking standards request for 18 regular spaces and 2 ADA accessible spaces to be reviewed and approved by the Parking Standards Committee. The applicant has indicated that not all residents will have vehicles for personal use. Additionally, grass parking will be available located closer to the units, reducing the impervious footprint. The applicant shall receive an approved or approved with conditions parking standard request prior to site plan approval.

Finding #14: Please provide a traffic circulation plan for the site showing vehicular ingress/egress throughout the development. The legend provided on Sheet 3.0 of the site plan makes note of a symbol for proposed vehicular circulation, however, the symbols appear to be missing within the sheet.

Please refer to any additional comments from Public Works (Attachment #5).

Residential Signs [Section 10-9.201(14)].

Specific sign codes (i.e. size and height), are reviewed for compliance with Article XII (signs) at the time of permitting. However, to ensure adequate visibility for motorists, bicyclists and pedestrians, the location of the subdivision sign shall be included on the plan sheets. One permanent sign may be located per entrance and one per exit to a single-family residential development provided that the requirements of this section are met. The location of the signage does not exempt the signs from permitting. The physical location shown on the site plan is for location purposes only. The signs must meet the criteria established in Article IX, Section 10-9.201, and Leon County Land Development Code.

Finding #15: The applicant has not provided any information regarding the location of signage for the development. A sign location shall be specified on the site plan and shall not be placed in a location that shall obstruct vision at points of intersection. Please also note that off-site subdivision signs are not allowed.

Aquifer Protection (Article X, Div. 1)

This article is intended to protect and maintain the quality and quantity of groundwater in the county by providing criteria for regulating the use, handling, production, storage and disposal of regulated substances.

Finding #16: The project shall receive approval from the Aquifer Protection Division prior to site plan approval.

ARTICLE XI. UNIFORM STREET NAMING AND PROPERTY NUMBERING SYSTEM

This article is intended to provide for the assignment and approval of street names, subdivision names, and for providing for a uniform numbering system for the assignment of address numbers to properties in the interest of public health, safety and welfare.

Finding #17: The project shall receive approval from the Addressing Program Coordinator prior to site plan approval.

Type "A" Review (Section 10-7.403).

According to Section 10-7.402 of the LDC, the application qualifies for review as a Type "A" site and development plan. The applicant has chosen the Conceptual Plan Approval (CPA) Tract. A determination of completeness shall be made within 14 calendar days after receipt and shall specify any additional information and level of detail required in order to meet the requirements of this section.

Finding #18: The CPA review track option is intended to expedite the review process by reducing the requirement for permitting level information while providing the applicant the assurance that the development entitlements reflected on the concept plan can be realized on the subject site. The CPA review track shall include approval of an environmental impact analysis (EIA) in support of the proposed development project. An Environmental Management Permit (EMP) shall be completed and approved within 1 year of issuance of site plan approval.

Proposed Residential Condominiums on Blountstown Highway (LSP160001)
Application Review Meeting – 01/27/16

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Technical Site Plan Deficiencies [Section 10-7.402(8)(b2)].

Finding #19: Please make the requested revisions outlined in the Findings above and in the attached memorandums from other reviewing agency staff. Additionally, please review the site plan markups from reviewing staff on ProjectDox. Please contact the Project Manager if you need assistance viewing these markups.

Finding #20: Please revise the cover sheet (Sheet 1.0) to reflect the project number for this project (LSP160001).

Finding #21: Please revise the project name to read "Blountstown Highway Condominiums".

RESPONSES FROM ARM MAILOUT NOTIFICATION:

The application was advertised in the Tallahassee Democrat on Monday, January 18, 2016. Additionally, a total of 292 notices were distributed through regular mail to property owners within 600 feet and neighborhood and business associations (registered with County) within one mile of the proposal site. As of January 26, 2016 at 5:00 PM, thirteen (13) notices were returned as 'undeliverable'. Two calls were received from a property owner who inquired about the meeting to be held for this project.

ATTACHMENTS:

1. Tallahassee-Leon County Planning Department Memorandum from Susan Poplin, Senior Planner
2. Environmental Services Review Memorandum from Charley Schwartz, PE, Senior Environmental Engineer
3. City of Tallahassee Utilities Memorandum from Justin Hosey, Water Resource Engineering Division
4. Tallahassee Fire Department Memorandum from Gary Donaldson
5. Public Works Memorandum from Kimberly Wood, PE, Chief of Engineering Coordination



MEMORANDUM

Attachment # 1
Page 1 of 1

Submitted to ProjectDox on January 26, 2016

TO: Nancy Garcia, Leon County Development Support and Environmental Management
FROM: Susan Poplin, Senior Planner, Tallahassee-Leon County Planning Department
DATE: January 22, 2016
SUBJECT: Blountstown Highway Residential Condominium – Type A Site Plan Concept Plan Approval (CPA); Leon County Application Review Meeting January 27, 2016

APPLICANT: Floresta, LLC
AGENT: Tom O'Steen, Moore Bass Consultants, Inc. – 222-5678
PARCEL ID: 21-31-20-007-0030
ZONING: Single and Two-Family Residential (R-3)
FUTURE LAND USE: Urban Residential 2 (UR-2)

Findings

1. The proposed project is for the first phase of a residential condominium project on 33.52 acres approximately ½ mile west of the intersection of Capital Circle Northwest and Blountstown Highway. Phase I consists of 24 dwelling units to be development on 4.09 acres. The parcel total is 33.52 acres. The applicant indicates that the project will be served by central water and sewer from the City.
2. The proposed project is consistent with the density and intensity of the Urban Residential 2 Future Land Use Map Category of the *Tallahassee-Leon County Comprehensive Plan*.
3. The Mobility Element of the *Tallahassee-Leon County Comprehensive Plan* requires that development provide full accommodations of pedestrian access and movement, including sidewalks and enhanced crossings, [Mobility Element Policies 1.1.8(a-b), 1.2.3 and 1.4.3], and requires vehicular, pedestrian, and bicycle interconnections between adjacent, compatible development [Mobility Element Policies 1.4.1 and 1.4.3]. The application includes sidewalks within and connecting to the facilities along Blountstown Road. The application also includes a parking lot with a stub out to a buffer area. The potential interconnection must be extended to the property line to support and achieve the Mobility Element objective for interconnections.
4. The Conservation Element of the *Tallahassee-Leon County Comprehensive Plan* requires that wetlands and floodplains be regulated as conservation or preservation, and that wetland function be preserved [Conservation Policies 1.3.1, 1.3.2, 1.3.4, 1.3.6, 2.2.1 and 2.2.2 and Land Use Element Policy 2.2.26, Table 6]. The first phase of development does not contain areas of wetlands and floodplains, and thus no conservation areas on a site plan are proposed at this time. The application includes an environmental features impact map that shows the existing conservation easement on the property as well as the location of wetlands, floodplains and slopes.

Planning Department Recommendations

The Planning Department recommends proposed Type A site plan for Phase I of the Blountstown Highway residential condominium project (LSP160001) be approved subject to the condition that the proposed roadway interconnection stub-out in the parking lot be extended to the property line.

Leon County, Department of Development Support
& Environmental Management

MEMORANDUM

TO: Nancy Garcia
Development Services Planner II

FROM: Charley Schwartz *CS* Senior Environmental Engineer
Katy Collins
Environmental Review Specialist

DATE: January 25, 2016

RE: Proposed Residential Condominiums on Blountstown Highway
LSP160001 – Type "A" Concept Plan Approval Track
January 27, 2016 Application Review Meeting
Parcel ID: 21-31-20-007-0030

We have conducted a review of the referenced project for its consistency with stormwater, landscaping, and other environmental protection requirements found in Section 10 of the Leon County Land Development Code (LDC). Recommendations, comments, and information necessary for the review process include, but are not limited to, the subsequent. All other requirements of the code, although not mentioned hereon, are still applicable.

Environmental Review Processes Requirements:

- A Natural Features Inventory (NFI) was approved with condition(s) on January 11, 2016, reference LEA150065. The NFI approval condition requires any archaeological and historical sites identified on the property shall be protected in accordance with the recommendations of the Florida Department of State, Division of Historic Resources.
- An Environmental Impact Analysis (EIA) is required for the Concept Plan Approval Track. The EIA application (LEA160002) has been received but not approved. Comments within this Memorandum also apply to the EIA submittal unless otherwise noted. Any additional EIA comments will be provided to the applicant under separate cover.
- An Environmental Management Permit (EMP) is required for this project prior to construction.
- An As-Built and an Operating Permit are also required prior to final inspection.

Project construction cannot commence until an EMP is issued.

Recommendations, Comments, and Required Information:

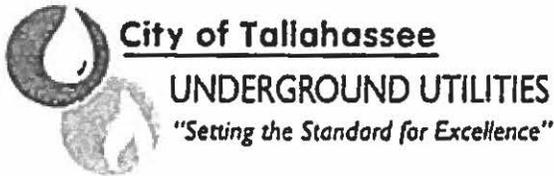
A markup layer has been added to Projectdiox addressing many of the comments outlined below.

1. Sheet 1.0: Cover Sheet – Add a Conceptual Landscape Sheet to the plans and identify the sheet location in the Sheet Index. See also "Conceptual Landscape Sheet" Comments provided below.
2. Sheet 2.0: Overall Existing Conditions Map – Address the following comments:
 - a. Ensure the items depicted are consistent with the approved NFI.
 - b. Label all existing conservation easements.
 - c. Add a complete legend (see approved NFI map).
3. Sheet 2.1: Project Area Existing Conditions Map – Identify any protected trees and existing improvements/features that might conflict with the proposed discharge pipe connection to the existing FDOT inlet structure.
4. Sheet 3.0: Geometry Plan – Address the following comments:
 - a. The minimum natural area requirement for the site is 25% (only 21% is proposed). Additional natural area shall be designated to meet the site minimum.
 - b. Provide a detail for the Type "D" Buffer Plantings (see also "Conceptual Landscape Sheet" Comments).
 - c. A minimum of four separate landscape islands shall be shown in the parking area each with a minimum area of 400 sf.

- d. Provide more information regarding land use and improvements within the residential unit area [ex. Max amount impervious, Max amount semi-pervious (ex. trails, LID parking, etc.), Min amount undisturbed woods, Min amount other landscaping] . Ensure all numbers identified are consistent within the plans and the supporting stormwater calculations.
 - e. Provide general placement guidance for utilities, units, pedestrian corridors and parking to ensure conflicts avoided/minimized and stormwater problems avoided.
5. Sheet 4.0: Grading Plan – Address the following comments:
- a. Identify side slopes of the stormwater pond. If slopes are steeper than 4:1 provide required fencing and fence screening.
 - b. All developed areas shall be routed to a SWMF. The north development area does not drain to the proposed SWMF. It appears additional access drive area near the connection with Public ROW can be captured and routed to the SWMF.
 - c. If parking is proposed for units in the Unit Area clarify how vehicles will access. Drainage swales are proposed between the road and Unit Area.
 - d. Identify the location of the emergency overflow weir and evaluate the flow path to the receiving water or drainage feature.
 - e. Suggestion: Suggest routing parking drainage to proposed swale to minimize potential erosion of northern slopes of pond.
6. Sheet 5.0: Environmental Features Impact Map – See Sheet 2.0 Comments.
7. Sheet 6.0: Concept Utility Plan – Ensure potential utility conflicts are evaluated.
8. Conceptual Landscape Plan – The additional sheet shall address the following comments:
- a. Provide a Minimum Planting Density Detail for the Type "D" Buffers. Add a note that existing healthy native vegetation shall be preserved and augmented as necessary to meet minimum planting density. Note that work within the critical root protection zone of existing trees to remain shall be conducted under the supervision of a certified arborist.
 - b. Identify areas that are tabulated as natural area (25% of site minimum) and landscape area.
 - c. Specify minimum requirements for proposed canopy coverage tree plantings (ex. canopy or understory trees, pavement setback, offset from underground utilities, etc.).
 - d. Add a note that additional landscape details to be provided in the EMP but shall meet minimum standards specified within the Site Plan / EIA.
 - e. Show that the project meets the tree mitigation requirements (ex. Credit/Debits or 40 trees per developed acre).
9. Conservation Easement – As part of the EMP, provide an executed conservation easement for the additional natural area and vegetation management plan for all natural areas.
10. Stormwater Analysis – Revisions to the Stormwater Analysis are necessary. Specific changes will be outlined in the EIA Notice of Application Deficiency letter to be provided under separate cover.

General Comments:

It should be noted that non-inclusion in this letter of a Leon County Land Development Regulation\Requirement does not constitute exemption from compliance with the requirement.



MEMORANDUM

TO: Nancy Garcia, Planner, Leon County
FROM: Bruce Kessler, Water Resources Engineering
On behalf of Justin Hosey, P.E.
Development Review Manager
DATE: January 27, 2016
SUBJECT: **Proposed Residential Condominium Project (LSP160001)**

I. Project Description:

The proposed project is located on Blountstown Highway (31-31-20-007-0030). Phase I consists of 24 dwelling units to be developed on 4.09 acres.

II. Standards of Review:

- 1) Water Resources Engineering reviews utility concept plans for compliance with, *the Water and Sewer Agreement, The City of Tallahassee Design Specifications for Water and Sewer, Florida Department of Environmental Protection (FDEP) F.A.C. Section 62-555, The American Water Works Associations Manual of Practice "M31", FDEP F.A.C. Section 62-604, and FDEP MOP 9, as well as sound engineering practice.*

III. Findings of Fact:

- 1) Water and sewer are available to the site.
- 2) Connection to water and sewer is required.

IV. Condition of Approval:

- 1) Water Resources Engineering has reviewed the "Water and Sewer Concept Plan" and have issued comments to the engineering of record.
- 2) A "Letter of Agreement" will be required prior to construction.



**TALLAHASSEE FIRE DEPARTMENT
SITE PLAN REQUIREMENTS**

Project Name: Residential Condominiums on Blountstown Hwy.
Parcel ID # 21-31-20-007-0030
LSP 160001
AGENT: Moore Bass, Inc.
PLANNER: Nancy Garcia
MEETING DATE: January 27, 2016

The Required width of a fire department access road shall not be obstructed in any manner, including the parking of vehicles. *NFPA 1, 18.2.4.1.1, Fifth Edition of the Florida Fire Prevention Code*).

Listed below are the Tallahassee Fire Department's requirements concerning the above proposed development. The agent or owner prior to approval shall address the items listed below.

1. Must meet NFF (needed fire flow) as determined by AWWA Manual M31, using NFPA 1 Method. Please provide needed fire flow calculations to the Tallahassee Fire Department representative and to Water Utilities Engineering and Inspections at this time. Please use the Required Fire Flow Information form (NFPA 1, 18.4.1.1, Fifth Edition of the Florida Fire Prevention Code) to provide fire flow calculations. The Fire Flow form is located on the Growth Management Department page within the City of Tallahassee's web page (www.talgov.com) in the "Applications and Forms" section. If hydrants are existing the following is required. After the NFF is determined, the existing fire hydrant(s) shall be flowed to determine its GPM. If the GPM meets or exceeds the NFF, no additional hydrants are required. If it does not meet the NFF, additional hydrant(s) are required.
2. Every building constructed shall be accessible to fire department apparatus by way of access roadways with all-weather driving surface of not less than 20 feet of unobstructed width, with adequate roadway turning radius capable of supporting the imposed loads of fire apparatus (32 tons) and having a minimum clearance of 13 feet, 6 inches, angle of approach and departure not exceeding 1 ft. drop in 20 ft. (0.3 drop in 6 m.) or the design limitations of the Fire Department apparatus, subject to Fire Department approval. The site plans' Geometry Plan (Sheet 3.0) includes an area containing 24 residential units with no specific location and orientation of buildings. Final determination of any additional Fire Department access requirements cannot be established until the individual units are identified and located on the site plan.

Board of County Commissioners
Interoffice-Memorandum

Date: January 26, 2016

To: Nancy Garcia, Planner II

From: Kimberly A. Wood, P.E., Chief of Engineering Coordination

Subject: Proposed Residential Condominiums on Blountstown Highway - LSP1601

The information submitted for review is not sufficient for a thorough review at this time. The following comments are for the applicant's information and may be revised as more information becomes available.

1. Existing conditions sheets should clearly delineate the limits of the Conservation Easement.
2. The existing 15 foot ingress/egress utility easement appears to conflict with the proposed 50 foot buffer, how will the plantings be protected if utilization of the easement becomes necessary.
3. Any and all work proposed within FDOT right of way must receive conceptually approval from FDOT prior to conceptual siteplan approval. This also includes the proposed right of way to FDOT?
4. Plans must be revised to include dimensions of all proposed improvements, including but not limited to all sidewalks, bike spaces, etc.
5. Plans must identify what the proposed driving area is, driveway or private road? Typical sections of vehicular use area must be included in the plans.
6. Please provide justification for proposed right turn into development.
7. Please show locations and information on any proposed retaining walls.
8. The grading of the SWMF is encroaching into the proposed 50 foot buffer.



Leon County

Board of County Commissioners

301 South Monroe Street, Tallahassee, Florida 32301
(850) 606-5302 www.leoncountyfl.gov

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County Attorney

DEVELOPMENT SUPPORT AND ENVIRONMENTAL MANAGEMENT
Development Services Division
435 N. Macomb Street, 2nd Floor
Tallahassee, Florida 32301
Phone Number (850) 606-1300

February 2, 2016

Floresta, LLC
c/o Tom O'Steen, P.E.
Moore Bass Consulting, Inc.
805 Gadsden Street
Tallahassee, FL 32311

RE: Notice of Application Deficiency #1
Proposed Residential Condominiums on Blountstown Highway,
Type "A" Site and Development Plan, CPA Track
Tax Parcel Identification Number(s): 21-31-20-007-0030
Project Number: LSP160001

Dear: Mr. O' Steen

Staff has completed a review of your Type "A" Site and Development Plan. Development Services requests the following revisions and amendments to continue processing your application. Please also refer to findings and conditions from other departments, agencies and divisions included as attachments to this letter.

1. Environmental Impact Analysis (EIA) – The applicant shall receive an approved EIA in support of the proposed development project. An Environmental Management Permit (EMP) shall be completed and approved within 1 year of issuance of site plan approval.
[Environmental Services Comment]
2. Any proposed improvements made along Blountstown Highway must be conceptually approved by the Florida Department of Transportation (FDOT) prior to site plan approval.
[Environmental Services & Development Services Comment]
3. The applicant shall receive an approved or approved with conditions parking standard request prior to site plan approval.
[Development Services Comment]
4. Please annotate the height of the building (in feet) in the site data table alongside the minimal requirements. Please clarify that the setbacks provided in the site data table are the perimeter setbacks for the development. The applicant will need to also provide the proposed setback between structures to ensure compliance with the Florida Building Code requirements.
[Development Services Comment]
5. The development shall be designed to provide interconnection that extends to undeveloped or partially developed land that is adjacent to the development site.
[Development Services Comment]

6. Please show the height, type and style of lighting being proposed (if any) for the development on a separate site plan sheet.
[Development Services Comment]
7. Please provide a landscape sheet as part of the site plan set that meets the intent of this section by providing vegetative screens and buffers to parking and waste collection areas. Preservation of existing trees and vegetation should be retained in these areas.
[Development Services Comment]
8. It is recommended that the dumpster location be relocated to accommodate a more feasibly accessible location for future residents. Additionally, it is recommended that the applicant explore location options so not to aesthetically impair the entrance of the development.
[Development Services Comment]
9. A lighting plan for the development has not been provided. Please show the height, type and style of lighting being proposed for the development on a separate site plan sheet. Dark-sky friendly fixtures are preferred in which the source of illumination is concealed. General ground lighting such as spot or flood lights are discouraged.
[Development Services Comment]
10. The existing ingress/egress easement along the western property line seems to be in direct conflict with the proposed Type "D" buffer. Please add a note which states that the existing easement is to be abandoned.
[Development Services Comment]
11. Please provide a traffic circulation plan for the site showing vehicular ingress/egress throughout the development. The legend provided on Sheet 3.0 of the site plan makes note of a symbol for proposed vehicular circulation, however, the symbols appear to be missing within the sheet.
[Development Services Comment]
12. The applicant has not provided any information regarding the location of signage for the development. A sign location shall be specified on the site plan and shall not be placed in a location that shall obstruct vision at points of intersection. Please also note that off-site subdivision signs are not allowed.
[Development Services Comment]
13. Please revise the cover sheet (Sheet 1.0) to reflect the project number for this project (LSP160001).
[Development Services Comment]
14. Please revise the project name to read "Blountstown Highway Condominiums".
[Development Services Comment]

A revised site and development plan addressing the conditions shall be submitted to the Department of the Development Support and Environmental Management within 30 days of the date of notice of application deficiency letter. In the event that the applicant fails to submit the required additional information within 30 calendar days of the application deficiency, the county

administrator or designee shall consider the application to be withdrawn. The county administrator or designee may grant extensions up to 30 days at the request of the applicant; provided any such request for extension is received prior to the expiration of the relevant time period.

Please contact Nancy Garcia at (850) 606-1300 or send e-mail to "GarciaN@leoncountyfl.gov" if you have any questions regarding this approval.

Sincerely,



Nancy Garcia
Planner II
Development Services

Attachments: Reports from other departments, agencies or divisions

Board of County Commissioners
Interoffice-Memorandum

Date: January 26, 2016

To: Nancy Garcia, Planner II

From: Kimberly A. Wood, P.E., Chief of Engineering Coordination

Subject: Proposed Residential Condominiums on Blountstown Highway - LSP1601

The information submitted for review is not sufficient for a thorough review at this time. The following comments are for the applicant's information and may be revised as more information becomes available.

1. Existing conditions sheets should clearly delineate the limits of the Conservation Easement.
2. The existing 15 foot ingress/egress utility easement appears to conflict with the proposed 50 foot buffer, how will the plantings be protected if utilization of the easement becomes necessary.
3. Any and all work proposed within FDOT right of way must receive conceptually approval from FDOT prior to conceptual siteplan approval. This also includes the proposed right of way to FDOT?
4. Plans must be revised to include dimensions of all proposed improvements, including but not limited to all sidewalks, bike spaces, etc.
5. Plans must identify what the proposed driving area is, driveway or private road? Typical sections of vehicular use area must be included in the plans.
6. Please provide justification for proposed right turn into development.
7. Please show locations and information on any proposed retaining walls.
8. The grading of the SWMF is encroaching into the proposed 50 foot buffer.

MEMORANDUM



Submitted to ProjectDox on January 26, 2016

TO: Nancy Garcia, Leon County Development Support and Environmental Management
FROM: Susan Poplin, Senior Planner, Tallahassee-Leon County Planning Department
DATE: January 22, 2016
SUBJECT: Blountstown Highway Residential Condominium – Type A Site Plan Concept Plan Approval (CPA); Leon County Application Review Meeting January 27, 2016

APPLICANT: Floresta, LLC
AGENT: Tom O'Steen, Moore Bass Consultants, Inc. – 222-5678
PARCEL ID: 21-31-20-007-0030
ZONING: Single and Two-Family Residential (R-3)
FUTURE LAND USE: Urban Residential 2 (UR-2)

Findings

1. The proposed project is for the first phase of a residential condominium project on 33.52 acres approximately ½ mile west of the intersection of Capital Circle Northwest and Blountstown Highway. Phase I consists of 24 dwelling units to be development on 4.09 acres. The parcel total is 33.52 acres. The applicant indicates that the project will be served by central water and sewer from the City.
2. The proposed project is consistent with the density and intensity of the Urban Residential 2 Future Land Use Map Category of the *Tallahassee-Leon County Comprehensive Plan*.
3. The Mobility Element of the Tallahassee-Leon County Comprehensive Plan requires that development provide full accommodations of pedestrian access and movement, including sidewalks and enhanced crossings, [Mobility Element Policies 1.1.8(a-b), 1.2.3 and 1.4.3], and requires vehicular, pedestrian, and bicycle interconnections between adjacent, compatible development [Mobility Element Policies 1.4.1 and 1.4.3]. The application includes sidewalks within and connecting to the facilities along Blountstown Road. The application also includes a parking lot with a stub out to a buffer area. The potential interconnection must be extended to the property line to support and achieve the Mobility Element objective for interconnections.
4. The Conservation Element of the *Tallahassee-Leon County Comprehensive Plan* requires that wetlands and floodplains be regulated as conservation or preservation, and that wetland function be preserved [Conservation Policies 1.3.1, 1.3.2, 1.3.4, 1.3.6, 2.2.1 and 2.2.2 and Land Use Element Policy 2.2.26, Table 6]. The first phase of development does not contain areas of wetlands and floodplains, and thus no conservation areas on a site plan are proposed at this time. The application includes an environmental features impact map that shows the existing conservation easement on the property as well as the location of wetlands, floodplains and slopes.

Planning Department Recommendations

The Planning Department recommends proposed Type A site plan for Phase I of the Blountstown Highway residential condominium project (LSP160001) be approved subject to the condition that the proposed roadway interconnection stub-out in the parking lot be extended to the property line.

Leon County, Department of Development Support
& Environmental Management

MEMORANDUM

TO: Nancy Garcia
Development Services Planner II

FROM: Charley Schwartz *CRS* Senior Environmental Engineer
Katy Collins
Environmental Review Specialist

DATE: January 25, 2016

RE: Proposed Residential Condominiums on Blountstown Highway
LSP160001 – Type "A" Concept Plan Approval Track
January 27, 2016 Application Review Meeting
Parcel ID: 21-31-20-007-0030

We have conducted a review of the referenced project for its consistency with stormwater, landscaping, and other environmental protection requirements found in Section 10 of the Leon County Land Development Code (LDC). Recommendations, comments, and information necessary for the review process include, but are not limited to, the subsequent. All other requirements of the code, although not mentioned hereon, are still applicable.

Environmental Review Processes Requirements:

- A Natural Features Inventory (NFI) was approved with condition(s) on January 11, 2016, reference LEA150065. The NFI approval condition requires any archaeological and historical sites identified on the property shall be protected in accordance with the recommendations of the Florida Department of State, Division of Historic Resources.
- An Environmental Impact Analysis (EIA) is required for the Concept Plan Approval Track. The EIA application (LEA160002) has been received but not approved. Comments within this Memorandum also apply to the EIA submittal unless otherwise noted. Any additional EIA comments will be provided to the applicant under separate cover.
- An Environmental Management Permit (EMP) is required for this project prior to construction.
- An As-Built and an Operating Permit are also required prior to final inspection.

Project construction cannot commence until an EMP is issued.

Recommendations, Comments, and Required Information:

A markup layer has been added to Projectdox addressing many of the comments outlined below.

1. Sheet 1.0: Cover Sheet – Add a Conceptual Landscape Sheet to the plans and identify the sheet location in the Sheet Index. See also "Conceptual Landscape Sheet" Comments provided below.
2. Sheet 2.0: Overall Existing Conditions Map – Address the following comments:
 - a. Ensure the items depicted are consistent with the approved NFI.
 - b. Label all existing conservation easements.
 - c. Add a complete legend (see approved NFI map).
3. Sheet 2.1: Project Area Existing Conditions Map – Identify any protected trees and existing improvements/features that might conflict with the proposed discharge pipe connection to the existing FDOT inlet structure.
4. Sheet 3.0: Geometry Plan – Address the following comments:
 - a. The minimum natural area requirement for the site is 25% (only 21% is proposed). Additional natural area shall be designated to meet the site minimum.
 - b. Provide a detail for the Type "D" Buffer Plantings (see also "Conceptual Landscape Sheet" Comments).
 - c. A minimum of four separate landscape islands shall be shown in the parking area each with a minimum area of 400 sf.

- d. Provide more information regarding land use and improvements within the residential unit area [ex. Max amount impervious, Max amount semi-pervious (ex. trails, LID parking, etc.); Min amount undisturbed woods, Min amount other landscaping] . Ensure all numbers identified are consistent within the plans and the supporting stormwater calculations.
- e. Provide general placement guidance for utilities, units, pedestrian corridors and parking to ensure conflicts avoided/minimized and stormwater problems avoided.

5. Sheet 4.0: Grading Plan – Address the following comments:

- a. Identify side slopes of the stormwater pond. If slopes are steeper than 4:1 provide required fencing and fence screening.
- b. All developed areas shall be routed to a SWMF. The north development area does not drain to the proposed SWMF. It appears additional access drive area near the connection with Public ROW can be captured and routed to the SWMF.
- c. If parking is proposed for units in the Unit Area clarify how vehicles will access. Drainage swales are proposed between the road and Unit Area.
- d. Identify the location of the emergency overflow weir and evaluate the flow path to the receiving water or drainage feature.
- e. Suggestion: Suggest routing parking drainage to proposed swale to minimize potential erosion of northern slopes of pond.

6. Sheet 5.0: Environmental Features Impact Map – See Sheet 2.0 Comments.

7. Sheet 6.0: Concept Utility Plan – Ensure potential utility conflicts are evaluated.

8. Conceptual Landscape Plan – The additional sheet shall address the following comments:

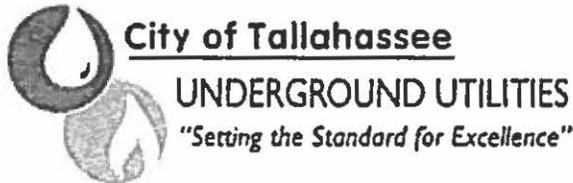
- a. Provide a Minimum Planting Density Detail for the Type "D" Buffers. Add a note that existing healthy native vegetation shall be preserved and augmented as necessary to meet minimum planting density. Note that work within the critical root protection zone of existing trees to remain shall be conducted under the supervision of a certified arborist.
- b. Identify areas that are tabulated as natural area (25% of site minimum) and landscape area.
- c. Specify minimum requirements for proposed canopy coverage tree plantings (ex. canopy or understory trees, pavement setback, offset from underground utilities, etc.).
- d. Add a note that additional landscape details to be provided in the EMP but shall meet minimum standards specified within the Site Plan / EIA.
- e. Show that the project meets the tree mitigation requirements (ex. Credit/Debits or 40 trees per developed acre).

9. Conservation Easement – As part of the EMP, provide an executed conservation easement for the additional natural area and vegetation management plan for all natural areas.

10. Stormwater Analysis – Revisions to the Stormwater Analysis are necessary. Specific changes will be outlined in the EIA Notice of Application Deficiency letter to be provided under separate cover.

General Comments:

It should be noted that non-inclusion in this letter of a Leon County Land Development Regulation\Requirement does not constitute exemption from compliance with the requirement.



MEMORANDUM

TO: Nancy Garcia, Planner, Leon County
FROM: Bruce Kessler, Water Resources Engineering
On behalf of Justin Hosey, P.E.
Development Review Manager
DATE: January 27, 2016
SUBJECT: Proposed Residential Condominium Project (LSP160001)

I. Project Description:

The proposed project is located on Blountstown Highway (31-31-20-007-0030). Phase I consists of 24 dwelling units to be developed on 4.09 acres.

II. Standards of Review:

- 1) Water Resources Engineering reviews utility concept plans for compliance with, *the Water and Sewer Agreement, The City of Tallahassee Design Specifications for Water and Sewer, Florida Department of Environmental Protection (FDEP) F.A.C. Section 62-555, The American Water Works Associations Manual of Practice "M31", FDEP F.A.C. Section 62-604, and FDEP MOP 9, as well as sound engineering practice.*

III. Findings of Fact:

- 1) Water and sewer are available to the site.
- 2) Connection to water and sewer is required.

IV. Condition of Approval:

- 1) Water Resources Engineering has reviewed the "Water and Sewer Concept Plan" and have issued comments to the engineering of record.
- 2) A "Letter of Agreement" will be required prior to construction.



TALLAHASSEE FIRE DEPARTMENT SITE PLAN REQUIREMENTS

Project Name: Residential Condominiums on Blountstown Hwy.
Parcel ID # 21-31-20-007-0030
LSP 160001
AGENT: Moore Bass, Inc.
PLANNER: Nancy Garcia
MEETING DATE: January 27, 2016

The Required width of a fire department access road shall not be obstructed in any manner, including the parking of vehicles. *NFPA 1, 18.2.4.1.1, Fifth Edition of the Florida Fire Prevention Code*).

Listed below are the Tallahassee Fire Department's requirements concerning the above proposed development. The agent or owner prior to approval shall address the items listed below.

1. Must meet NFF (needed fire flow) as determined by AWWA Manual M31, using NFPA 1 Method. Please provide needed fire flow calculations to the Tallahassee Fire Department representative and to Water Utilities Engineering and Inspections at this time. Please use the Required Fire Flow Information form (NFPA 1, 18.4.1.1, Fifth Edition of the Florida Fire Prevention Code) to provide fire flow calculations. The Fire Flow form is located on the Growth Management Department page within the City of Tallahassee's web page (www.talgov.com) in the "Applications and Forms" section. If hydrants are existing the following is required. After the NFF is determined, the existing fire hydrant(s) shall be flowed to determine its GPM. If the GPM meets or exceeds the NFF, no additional hydrants are required. If it does not meet the NFF, additional hydrant(s) are required.
2. Every building constructed shall be accessible to fire department apparatus by way of access roadways with all-weather driving surface of not less than 20 feet of unobstructed width, with adequate roadway turning radius capable of supporting the imposed loads of fire apparatus (32 tons) and having a minimum clearance of 13 feet, 6 inches, angle of approach and departure not exceeding 1 ft. drop in 20 ft. (0.3 drop in 6 m.) or the design limitations of the Fire Department apparatus, subject to Fire Department approval. The site plans' Geometry Plan (Sheet 3.0) includes an area containing 24 residential units with no specific location and orientation of buildings. Final determination of any additional Fire Department access requirements cannot be established until the individual units are identified and located on the site plan.



Gary Donaldson
Tallahassee Fire Department
435 N. Macomb St. – 1st Floor
Tallahassee FL 32301
(850)891-7179
Gary.Donaldson@talgov.com

Exhibit 2

Notice of Application Deficiency #1 dated February 2, 2016



Leon County

Board of County Commissioners

301 South Monroe Street, Tallahassee, Florida 32301
(850) 606-5302 www.leoncountyfl.gov

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At-Large

NICK MADDOX
At-Large

VINCENT S. LONG
County Administrator

HERBERT W.A. THIELE
County Attorney

DEVELOPMENT SUPPORT AND ENVIRONMENTAL MANAGEMENT
Development Services Division
435 N. Macomb Street, 2nd Floor
Tallahassee, Florida 32301
Phone Number (850) 606-1300

February 2, 2016

Floresta, LLC
c/o Tom O'Steen, P.E.
Moore Bass Consulting, Inc.
805 Gadsden Street
Tallahassee, FL 32311

RE: Notice of Application Deficiency #1
Proposed Residential Condominiums on Blountstown Highway,
Type "A" Site and Development Plan, CPA Track
Tax Parcel Identification Number(s): 21-31-20-007-0030
Project Number: LSP160001

Dear: Mr. O' Steen

Staff has completed a review of your Type "A" Site and Development Plan. Development Services requests the following revisions and amendments to continue processing your application. Please also refer to findings and conditions from other departments, agencies and divisions included as attachments to this letter.

1. Environmental Impact Analysis (EIA) – The applicant shall receive an approved EIA in support of the proposed development project. An Environmental Management Permit (EMP) shall be completed and approved within 1 year of issuance of site plan approval.
[Environmental Services Comment]
2. Any proposed improvements made along Blountstown Highway must be conceptually approved by the Florida Department of Transportation (FDOT) prior to site plan approval.
[Environmental Services & Development Services Comment]
3. The applicant shall receive an approved or approved with conditions parking standard request prior to site plan approval.
[Development Services Comment]
4. Please annotate the height of the building (in feet) in the site data table alongside the minimal requirements. Please clarify that the setbacks provided in the site data table are the perimeter setbacks for the development. The applicant will need to also provide the proposed setback between structures to ensure compliance with the Florida Building Code requirements.
[Development Services Comment]
5. The development shall be designed to provide interconnection that extends to undeveloped or partially developed land that is adjacent to the development site.
[Development Services Comment]

6. Please show the height, type and style of lighting being proposed (if any) for the development on a separate site plan sheet.
[Development Services Comment]
7. Please provide a landscape sheet as part of the site plan set that meets the intent of this section by providing vegetative screens and buffers to parking and waste collection areas. Preservation of existing trees and vegetation should be retained in these areas.
[Development Services Comment]
8. It is recommended that the dumpster location be relocated to accommodate a more feasibly accessible location for future residents. Additionally, it is recommended that the applicant explore location options so not to aesthetically impair the entrance of the development.
[Development Services Comment]
9. A lighting plan for the development has not been provided. Please show the height, type and style of lighting being proposed for the development on a separate site plan sheet. Dark-sky friendly fixtures are preferred in which the source of illumination is concealed. General ground lighting such as spot or flood lights are discouraged.
[Development Services Comment]
10. The existing ingress/egress easement along the western property line seems to be in direct conflict with the proposed Type "D" buffer. Please add a note which states that the existing easement is to be abandoned.
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11. Please provide a traffic circulation plan for the site showing vehicular ingress/egress throughout the development. The legend provided on Sheet 3.0 of the site plan makes note of a symbol for proposed vehicular circulation, however, the symbols appear to be missing within the sheet.
[Development Services Comment]
12. The applicant has not provided any information regarding the location of signage for the development. A sign location shall be specified on the site plan and shall not be placed in a location that shall obstruct vision at points of intersection. Please also note that off-site subdivision signs are not allowed.
[Development Services Comment]
13. Please revise the cover sheet (Sheet 1.0) to reflect the project number for this project (LSP160001).
[Development Services Comment]
14. Please revise the project name to read "Blountstown Highway Condominiums".
[Development Services Comment]

A revised site and development plan addressing the conditions shall be submitted to the Department of the Development Support and Environmental Management within 30 days of the date of notice of application deficiency letter. In the event that the applicant fails to submit the required additional information within 30 calendar days of the application deficiency, the county

administrator or designee shall consider the application to be withdrawn. The county administrator or designee may grant extensions up to 30 days at the request at the applicant; provided any such request for extension is received prior to the expiration of the relevant time period.

Please contact Nancy Garcia at (850) 606-1300 or send e-mail to "GarciaN@leoncountyfl.gov". if you have any questions regarding this approval.

Sincerely,



Nancy Garcia
Planner II
Development Services

Attachments: Reports from other departments, agencies or divisions

Board of County Commissioners
Interoffice-Memorandum

Date: January 26, 2016

To: Nancy Garcia, Planner II

From: Kimberly A. Wood, P.E., Chief of Engineering Coordination

Subject: Proposed Residential Condominiums on Blountstown Highway - LSP1601

The information submitted for review is not sufficient for a thorough review at this time. The following comments are for the applicant's information and may be revised as more information becomes available.

1. Existing conditions sheets should clearly delineate the limits of the Conservation Easement.
2. The existing 15 foot ingress/egress utility easement appears to conflict with the proposed 50 foot buffer, how will the plantings be protected if utilization of the easement becomes necessary.
3. Any and all work proposed within FDOT right of way must receive conceptually approval from FDOT prior to conceptual siteplan approval. This also includes the proposed right of way to FDOT?
4. Plans must be revised to include dimensions of all proposed improvements, including but not limited to all sidewalks, bike spaces, etc.
5. Plans must identify what the proposed driving area is, driveway or private road? Typical sections of vehicular use area must be included in the plans.
6. Please provide justification for proposed right turn into development.
7. Please show locations and information on any proposed retaining walls.
8. The grading of the SWMF is encroaching into the proposed 50 foot buffer.

MEMORANDUM



Submitted to ProjectDox on January 26, 2016

TO: Nancy Garcia, Leon County Development Support and Environmental Management
FROM: Susan Poplin, Senior Planner, Tallahassee-Leon County Planning Department
DATE: January 22, 2016
SUBJECT: Blountstown Highway Residential Condominium – Type A Site Plan Concept Plan Approval (CPA); Leon County Application Review Meeting January 27, 2016

APPLICANT: Floresta, LLC
AGENT: Tom O'Steen, Moore Bass Consultants, Inc. – 222-5678
PARCEL ID: 21-31-20-007-0030
ZONING: Single and Two-Family Residential (R-3)
FUTURE LAND USE: Urban Residential 2 (UR-2)

Findings

1. The proposed project is for the first phase of a residential condominium project on 33.52 acres approximately ½ mile west of the intersection of Capital Circle Northwest and Blountstown Highway. Phase I consists of 24 dwelling units to be development on 4.09 acres. The parcel total is 33.52 acres. The applicant indicates that the project will be served by central water and sewer from the City.
2. The proposed project is consistent with the density and intensity of the Urban Residential 2 Future Land Use Map Category of the *Tallahassee-Leon County Comprehensive Plan*.
3. The Mobility Element of the Tallahassee-Leon County Comprehensive Plan requires that development provide full accommodations of pedestrian access and movement, including sidewalks and enhanced crossings, [Mobility Element Policies 1.1.8(a-b), 1.2.3 and 1.4.3], and requires vehicular, pedestrian, and bicycle interconnections between adjacent, compatible development [Mobility Element Policies 1.4.1 and 1.4.3]. The application includes sidewalks within and connecting to the facilities along Blountstown Road. The application also includes a parking lot with a stub out to a buffer area. The potential interconnection must be extended to the property line to support and achieve the Mobility Element objective for interconnections.
4. The Conservation Element of the *Tallahassee-Leon County Comprehensive Plan* requires that wetlands and floodplains be regulated as conservation or preservation, and that wetland function be preserved [Conservation Policies 1.3.1, 1.3.2, 1.3.4, 1.3.6, 2.2.1 and 2.2.2 and Land Use Element Policy 2.2.26, Table 6]. The first phase of development does not contain areas of wetlands and floodplains, and thus no conservation areas on a site plan are proposed at this time. The application includes an environmental features impact map that shows the existing conservation easement on the property as well as the location of wetlands, floodplains and slopes.

Planning Department Recommendations

The Planning Department recommends proposed Type A site plan for Phase I of the Blountstown Highway residential condominium project (LSP160001) be approved subject to the condition that the proposed roadway interconnection stub-out in the parking lot be extended to the property line.

Leon County, Department of Development Support
& Environmental Management

MEMORANDUM

TO: Nancy Garcia
Development Services Planner II

FROM: Charley Schwartz *CRS* Senior Environmental Engineer
Katy Collins
Environmental Review Specialist

DATE: January 25, 2016

RE: Proposed Residential Condominiums on Blountstown Highway
LSP160001 – Type "A" Concept Plan Approval Track
January 27, 2016 Application Review Meeting
Parcel ID: 21-31-20-007-0030

We have conducted a review of the referenced project for its consistency with stormwater, landscaping, and other environmental protection requirements found in Section 10 of the Leon County Land Development Code (LDC). Recommendations, comments, and information necessary for the review process include, but are not limited to, the subsequent. All other requirements of the code, although not mentioned hereon, are still applicable.

Environmental Review Processes Requirements:

- A Natural Features Inventory (NFI) was approved with condition(s) on January 11, 2016, reference LEA150065. The NFI approval condition requires any archaeological and historical sites identified on the property shall be protected in accordance with the recommendations of the Florida Department of State, Division of Historic Resources.
- An Environmental Impact Analysis (EIA) is required for the Concept Plan Approval Track. The EIA application (LEA160002) has been received but not approved. Comments within this Memorandum also apply to the EIA submittal unless otherwise noted. Any additional EIA comments will be provided to the applicant under separate cover.
- An Environmental Management Permit (EMP) is required for this project prior to construction.
- An As-Built and an Operating Permit are also required prior to final inspection.

Project construction cannot commence until an EMP is issued.

Recommendations, Comments, and Required Information:

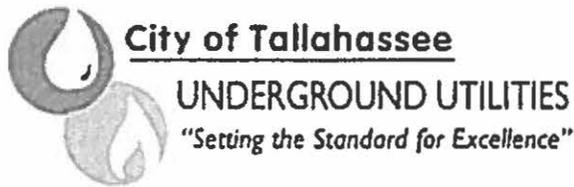
A markup layer has been added to Projectdox addressing many of the comments outlined below.

1. Sheet 1.0: Cover Sheet – Add a Conceptual Landscape Sheet to the plans and identify the sheet location in the Sheet Index. See also "Conceptual Landscape Sheet" Comments provided below.
2. Sheet 2.0: Overall Existing Conditions Map – Address the following comments:
 - a. Ensure the items depicted are consistent with the approved NFI.
 - b. Label all existing conservation easements.
 - c. Add a complete legend (see approved NFI map).
3. Sheet 2.1: Project Area Existing Conditions Map – Identify any protected trees and existing improvements/features that might conflict with the proposed discharge pipe connection to the existing FDOT inlet structure.
4. Sheet 3.0: Geometry Plan – Address the following comments:
 - a. The minimum natural area requirement for the site is 25% (only 21% is proposed). Additional natural area shall be designated to meet the site minimum.
 - b. Provide a detail for the Type "D" Buffer Plantings (see also "Conceptual Landscape Sheet" Comments).
 - c. A minimum of four separate landscape islands shall be shown in the parking area each with a minimum area of 400 sf.

- d. Provide more information regarding land use and improvements within the residential unit area (ex. Max amount impervious, Max amount semi-pervious (ex. trails, LID parking, etc.); Min amount undisturbed woods, Min amount other landscaping) . Ensure all numbers identified are consistent within the plans and the supporting stormwater calculations.
 - e. Provide general placement guidance for utilities, units, pedestrian corridors and parking to ensure conflicts avoided/minimized and stormwater problems avoided.
5. Sheet 4.0: Grading Plan – Address the following comments:
 - a. Identify side slopes of the stormwater pond. If slopes are steeper than 4:1 provide required fencing and fence screening.
 - b. All developed areas shall be routed to a SWMF. The north development area does not drain to the proposed SWMF. It appears additional access drive area near the connection with Public ROW can be captured and routed to the SWMF.
 - c. If parking is proposed for units in the Unit Area clarify how vehicles will access. Drainage swales are proposed between the road and Unit Area.
 - d. Identify the location of the emergency overflow weir and evaluate the flow path to the receiving water or drainage feature.
 - e. Suggestion: Suggest routing parking drainage to proposed swale to minimize potential erosion of northern slopes of pond.
6. Sheet 5.0: Environmental Features Impact Map – See Sheet 2.0 Comments.
7. Sheet 6.0: Concept Utility Plan – Ensure potential utility conflicts are evaluated.
8. Conceptual Landscape Plan – The additional sheet shall address the following comments:
 - a. Provide a Minimum Planting Density Detail for the Type “D” Buffers. Add a note that existing healthy native vegetation shall be preserved and augmented as necessary to meet minimum planting density. Note that work within the critical root protection zone of existing trees to remain shall be conducted under the supervision of a certified arborist.
 - b. Identify areas that are tabulated as natural area (25% of site minimum) and landscape area.
 - c. Specify minimum requirements for proposed canopy coverage tree plantings (ex. canopy or understory trees, pavement setback, offset from underground utilities, etc.).
 - d. Add a note that additional landscape details to be provided in the EMP but shall meet minimum standards specified within the Site Plan / EIA.
 - e. Show that the project meets the tree mitigation requirements (ex. Credit/Debits or 40 trees per developed acre).
9. Conservation Easement – As part of the EMP, provide an executed conservation easement for the additional natural area and vegetation management plan for all natural areas.
10. Stormwater Analysis – Revisions to the Stormwater Analysis are necessary. Specific changes will be outlined in the EIA Notice of Application Deficiency letter to be provided under separate cover.

General Comments:

It should be noted that non-inclusion in this letter of a Leon County Land Development Regulation\Requirement does not constitute exemption from compliance with the requirement.



MEMORANDUM

TO: Nancy Garcia, Planner, Leon County
FROM: Bruce Kessler, Water Resources Engineering
On behalf of Justin Hosey, P.E.
Development Review Manager
DATE: January 27, 2016
SUBJECT: **Proposed Residential Condominium Project (LSP160001)**

I. Project Description:

The proposed project is located on Blountstown Highway (31-31-20-007-0030). Phase I consists of 24 dwelling units to be developed on 4.09 acres.

II. Standards of Review:

- 1) Water Resources Engineering reviews utility concept plans for compliance with, *the Water and Sewer Agreement, The City of Tallahassee Design Specifications for Water and Sewer, Florida Department of Environmental Protection (FDEP) F.A.C. Section 62-555, The American Water Works Associations Manual of Practice "M31", FDEP F.A.C. Section 62-604, and FDEP MOP 9, as well as sound engineering practice.*

III. Findings of Fact:

- 1) Water and sewer are available to the site.
- 2) Connection to water and sewer is required.

IV. Condition of Approval:

- 1) Water Resources Engineering has reviewed the "Water and Sewer Concept Plan" and have issued comments to the engineering of record.
- 2) A "Letter of Agreement" will be required prior to construction.



TALLAHASSEE FIRE DEPARTMENT SITE PLAN REQUIREMENTS

Project Name: Residential Condominiums on Blountstown Hwy.
Parcel ID # 21-31-20-007-0030
LSP 160001
AGENT: Moore Bass, Inc.
PLANNER: Nancy Garcia
MEETING DATE: January 27, 2016

The Required width of a fire department access road shall not be obstructed in any manner, including the parking of vehicles. *NFPA 1, 18.2.4.1.1, Fifth Edition of the Florida Fire Prevention Code*).

Listed below are the Tallahassee Fire Department's requirements concerning the above proposed development. The agent or owner prior to approval shall address the items listed below.

1. Must meet NFF (needed fire flow) as determined by AWWA Manual M31, using NFPA 1 Method. Please provide needed fire flow calculations to the Tallahassee Fire Department representative and to Water Utilities Engineering and Inspections at this time. Please use the Required Fire Flow Information form (NFPA 1, 18.4.1.1, Fifth Edition of the Florida Fire Prevention Code) to provide fire flow calculations. The Fire Flow form is located on the Growth Management Department page within the City of Tallahassee's web page (www.talgov.com) in the "Applications and Forms" section. If hydrants are existing the following is required. After the NFF is determined, the existing fire hydrant(s) shall be flowed to determine its GPM. If the GPM meets or exceeds the NFF, no additional hydrants are required. If it does not meet the NFF, additional hydrant(s) are required.
2. Every building constructed shall be accessible to fire department apparatus by way of access roadways with all-weather driving surface of not less than 20 feet of unobstructed width, with adequate roadway turning radius capable of supporting the imposed loads of fire apparatus (32 tons) and having a minimum clearance of 13 feet, 6 inches, angle of approach and departure not exceeding 1 ft. drop in 20 ft. (0.3 drop in 6 m.) or the design limitations of the Fire Department apparatus, subject to Fire Department approval. The site plans' Geometry Plan (Sheet 3.0) includes an area containing 24 residential units with no specific location and orientation of buildings. Final determination of any additional Fire Department access requirements cannot be established until the individual units are identified and located on the site plan.

Gary Donaldson
Tallahassee Fire Department
435 N. Macomb St. – 1st Floor
Tallahassee FL 32301
(850)891-7179
Gary.Donaldson@talgov.com

Exhibit 3a

Application for Site and Development Plan Review
dated January 12, 2016

D-4



**DEPARTMENT OF DEVELOPMENT
SUPPORT & ENVIRONMENTAL
MANAGEMENT**

**APPLICATION FOR
SITE AND DEVELOPMENT PLAN REVIEW**

Leon County
Board of County Commissioners

Department of Development
Support & Environmental
Management
435 North Macomb St., 2nd Floor
Tallahassee, FL 32301

Phone#: (850) 606-1300
Fax#: (850) 606-1301
Website: www.leonpermits.org

Level of Site Plan:

- Type A Development
- Type B Development
- Type C Development
- Type D Development

Review Process :

- Concept Plan Approval (CPA)
- Final Design Plan Approval (FDPA)
- Planned Unit Development (PUD)

This application must be completed and returned with all attachments referenced in items below to the Leon County Development Support and Environmental Management (DSEM) Department, 435 North Macomb Street, 2nd Floor, Tallahassee, FL, 32301. The completed application will be used by DSEM staff to review your development proposal for consistency with the Comprehensive Plan and demonstrations of compliance with the County Land Development Regulations prior to approval, approval with conditions or denial of the application.

Application for: Application Review Meeting () Development Review Committee () Planned Unit Development ()

Project Name: Proposed Residential Condominiums on Blountstown Highway

1. Applicant

Name: Floresta, LLC	Address: 2073 Summit Lake Drive, Ste 155	Phone#: Fax#:
City: Tallahassee, FL 32317	State:	Zip:
Email Address:		

2. Agent/Representative

Name: Moore Bass Consulting, Inc. (Tom O'Steen)	Address: 805 North Gadsden Street	Phone#: 850-222-5678 Fax#: 850-681-2349
City: Tallahassee, FL 32303	State:	Zip:
Email Address: tosteen@moorebass.com ; jjohnston@moorebass.com		

3. Property Owner

Name: Ameris Bank	Address: 7915 Baymeadows Way, Suite 300	Phone#: Fax#:
City: Jacksonville, FL 32256	State:	Zip:
Email Address:		

4. Property Information:

Future Land Use Designation: Suburban	Zoning Designation: R-3
Property Tax I.D. #'s: 21-31-20-007-0030	

Acreage of Property (consistent with legal description and boundary survey): 33.52
Type of Proposed Development and Nature of Request (be as specific as possible): see narrative

5. Project Information:

Type of Proposed Development and Nature of Request (be as specific as possible): see narrative	
Number of existing residential units: 0	
Number of existing non-residential buildings/structures: 0	
Proposed number of non-residential buildings/structures: 0	Total area of buildings/structures (s.f.):
Proposed number of residential dwelling units: 24	Type of residential unit(s): condominium
Does the proposal include subdivision of the property? NO	If yes, number of proposed lots:
Proposed impervious surface area (s.f.): 32,215	
Proposed building/structure height: 1 story (some with lofts)	

6. Other Information:

Variances/Vested Rights Claim/Approved Deviations from Development Standards, existing or applied for, on the subject property (describe and attach appropriate documentation):
Utility Providers: Sanitary Sewage Disposal: <input type="checkbox"/> On-site Septic System(s) <input checked="" type="checkbox"/> City of Tallahassee <input type="checkbox"/> Talquin Electric Cooperative <input type="checkbox"/> Other* Water Supplied By: <input type="checkbox"/> On-site Potable Well(s) <input checked="" type="checkbox"/> City of Tallahassee <input type="checkbox"/> Talquin Electric Cooperative <input type="checkbox"/> Other* Electric Provider: <input checked="" type="checkbox"/> City of Tallahassee <input type="checkbox"/> Talquin Electric Cooperative <input type="checkbox"/> Other* * Please specify: _____

8. CPA Site Plan Checklist:

One (1) original set of plans (signed and sealed) are needed for agenda submittal in addition to the electronic plan uploaded to Project Dox, including:

- Completed site and development plan application for the Application Review Meeting
- Affidavit of Ownership and Designation of Agent form
- Permitted Use Verification (PUV) determined 'Eligible' or 'Conditional'
- Completed application for Concurrency Management Determination
- Completed School Impact Analysis Form (for residential projects only)
- Approved Natural Features Inventory (NFI)
- Environmental Impact Analysis (EIA) – EIA application submittal required at the time of ARM submittal
- Site and development plans for review under the CPA track shall include the following:
(The specific submittal requirements outlined below may be waived by the County Administrator or designee if the applicant provides adequate documentation as to the inapplicability to the proposed development)
 - 1) Title block containing the following:
 - i. Name of proposed development.
 - ii. Date of preparation.
 - iii. Scale of the site and development plan, both written and graphic.
 - 2) A signed and sealed boundary survey and legal description (by a professional surveyor licensed to practice in the State of Florida).
 - 3) Tax identification number(s) for parcel(s) that are the subject of the application.
 - 4) Total acreage of the parcel(s) that are subject of application.
 - 5) A vicinity map with north arrow.
 - 6) Names, addresses and telephone numbers of all owners of the parcel(s), developers, optionees and agents.
 - 7) Location of proposed land uses, open space, conservation or preservation areas and all other natural features (as identified with the NFI).
 - 8) Location and type of known hazardous materials, hazardous wasteland, and underground storage tanks.
 - 9) An itemized list of proposed land uses.
 - 10) The minimum and maximum number of allowable residential units (and calculated gross density) and/or non-residential development intensity (as measured in gross building square footage).
 - 11) Development and design standards including, but not limited to: lot dimensions and size, building setbacks, building heights, dimensions of internal streets, sidewalks and any other transportation facilities, and buffering
 - 12) A circulation diagram or illustrative plan showing vehicular and pedestrian movements, including location and dimensions of access points, sidewalks, any special engineering features, and traffic control devices, if any
 - 13) Proposed covenants, grants, easements, dedications, and restrictions to be imposed on the land, buildings, and/or structure, including proposed easements for public utilities and instruments relating to the use and maintenance of common natural areas, open spaces, private streets, and other private infrastructure shall be furnished with an application.
 - 14) Proposed build-out date of the infrastructure for the development in its entirety, and if the development will be built in phases, a development scheduled and proposed build out date for each phase. The proposed phasing schedule should also be noted graphically on the plan.

Exhibit 3b

Permitted Use Verification, Certificate Number VC150155

Printed: 12/04/2015

**LEON COUNTY
PERMITTED USE VERIFICATION
CERTIFICATE NUMBER: VC150155**

ISSUED TO:

Name: MOORE BASS CONSULTING INC
Address: 805 N GADSDEN ST TALLAHASSEE FL , 32308

Phone #: (850) 222-5678

Project Acreage: 33.52
Zoning District.: R-3
Parcel Tax ID#...: 21-31-20-007-0030

Status: CONDITIONAL
260 Condominium Units (130 Phase I)

-----COMMENTS-----

1: Parcel/Zoning Information:

The referenced parcel is located in the R-3 (Single-and-Two Family Residential District) zoning district (Section 10-6.637 of the Land Development Code)(LDC) and is designated Suburban on the Future Land Use Map of the Tallahassee/Leon County Comprehensive Plan (Policy 2.2.22). The referenced property is located inside the Urban Service Area (USA) and is subject to the City/County Water and Sewer Agreement. According to the Leon County Property Appraiser's database, the referenced parcel consists of approximately 33.52 acres (+/-) and is currently vacant. The proposal will require connection to central sanitary sewer and potable water systems. The subject site is accessed via Blountstown Highway, a Principal Arterial roadway.

The R-3 district is intended to be located in areas designated Urban Residential-2 on the Future Land Use Map which contain or are anticipated to contain a wide range of single-family and two-family housing types. The maximum gross residential density allowed is eight (8) dwelling units per acre; a minimum density of four (4) dwelling units per acre is required when applied to the Urban Residential future land use category.

Review Process:

The applicant is requesting to develop the above referenced parcel into a 260 unit single-family detached condominium complex. Pursuant to Section 10-1.101 of the LDC, condominium is defined as a development composed of units that may be owned by one or more persons, and in which there is, appurtenant to each unit, an undivided share in common elements. According to Section 10-6.637 of the LDC, single-family residential dwelling units are principal permitted uses within the zoning district. The proposed development will be phased, with Phase I consisting of 130 units to be developed on 16 acres. Phase I of the development shall be subject to the Type "B" site plan review requirements of Section 10-7.403 of the LDC. Phase II will consist of 130 additional single-family units and the associated infrastructure for a total of 260. The overall gross residential density for the proposed development is 7.7 dwelling units per acre, which is consistent with the R-3 zoning district.

A pre-submittal meeting, free of charge, is highly encouraged prior to submission of an application for subdivision to help ensure there are no unanticipated delays during site plan submittal and review of the project. This meeting offers an opportune time to discuss requirements in greater detail and address any complex issues associated with the proposal prior to filing an application. To set up a 'pre-submittal' meeting please contact Development Services at 606-1300.

For proposals that require Type "B" review, the applicant will have the option to choose one of two review tracks; Concept Plan Approval (CPA) or Final Design Plan Approval (FDPA). The CPA review track option is intended to expedite the review process by reducing the requirement for permitting level information while providing the applicant the assurance that the development entitlements reflected on the concept plan can be realized on the subject site. The FDPA review track option is intended to expedite the review process by providing for the concurrent review of a proposed project's subdivision or site and development plan and associated environmental permit. More information on both tracks can be found at the Development Services website: http://leonpermits.org/Permits/forms/SitePlanApp-Combined_2track.pdf. For assistance in determining which review track may be most suitable for your proposal, please contact the Development Services 'Project Manager' at 850-606-1300.

Printed: 12-08-2015

**LEON COUNTY
PERMITTED USE VERIFICATION
CERTIFICATE NUMBER: VC150155**

Leon County accepts and reviews site and development plan applications submitted electronically. One hard copy (original) set of application materials and plans, with all necessary professional seals and signatures, is required - in addition to the electronic submittal. Please be informed that site and development plans have requisites that must be satisfied prior to making an application. For assistance with electronic filing, contact Development Services at 850-606-1300.

Environmental:

According to Leon County Geographic Information Systems (GIS) data, the site is encumbered by significant slopes (10% - 20% grades), wetlands and flood plain, which are identified by the Comprehensive Plan and Land Development Code as "conservation" or "preservation" areas. The subject property is located in the Gum Creek West Watershed and the Lake Munson Drainage Basin. Development within "conservation" or "preservation" areas is severely restricted and/or prohibited. The Type "B" application for site and development plan review must demonstrate compliance with applicable stormwater code provisions set forth in Article IV of the LDC. Additionally, Leon County Conservation Easements have been recorded on the referenced parcel, descriptions of the Conservation Easements can be located in the Leon County Clerk of the Courts Official Records Book 3847, Page 1674.

A minimum of 50 percent of significant (ten percent to 20 percent slope) grade areas must be left undisturbed if located adjacent to or within 100 feet of wetlands, waterbodies, watercourses, floodways, floodplains, karst features or special development zones. This requirement may be met by preserving 50 percent of each individual area or 50 percent of the total grade areas.

A Natural Features Inventory (NFI) is required for the proposed condominium complex, which will help verify the presence and significance of any environmental features that may be present. The NFI shall be approved by the Environmental Services Division prior to filing for a Type "B" application. An Environmental Management Permit (EMP) will also be required to analyze and mitigate stormwater impacts as a result of the improvements, and shall be submitted for concurrent review with the subdivision proposal. Whenever possible, Low Impact Development (LID) techniques such as rain gardens, bio-retention swales are encouraged to allow stormwater infiltration to occur as close to the source as possible. A decentralized stormwater management design which disperses stormwater facilities across the site rather than to a centralized treatment facility is encouraged. Landscape vegetation shall be incorporated around the perimeter of the stormwater facility, which at maturity will conceal required fencing.

General Layout & Design:

The proposed development shall have legal access to a publicly dedicated street (Sec. 10-7.502, LDC). Legal access shall mean the right, created by fee simple ownership, insurable right of access, deed, or easement recorded in the public records providing for perpetual ingress to and egress rights from the premises to a public or private street.

Applications for development shall demonstrate compliance with the "General Layout and Design Standards" set forth in Section 10-7.502 of the LDC. Sidewalks are required for new development, expansion or re-development (public or private) inside the USA. Sidewalks will be required along the frontage road, any other private/public road frontage adjoining the development and maybe required along any roads constructed within the proposed development. Applications for development must also demonstrate compliance with applicable interconnection provisions. The proposed development is required by Section 10-7.502 to dedicate right-of-way that extends to undeveloped or partially developed land that is adjacent to the development site. Right-of-way shall be provided to the property line to provide for interconnection of future development. The right-of-way shall be provided in locations that will not prevent adjacent properties from developing with the applicable standards in this section, as determined by the Development Review Committee (DRC).

The proposed development will be required to demonstrate compliance with Landscape Buffer standards, as outlined in Section 10-7.522 of the LDC. Landscape buffers are generally required between incompatible uses at the perimeter of any existing and proposed development. Buffers are intended to provide a screening function between adjacent compatible and incompatible land uses. Landscape Buffer Standards are set forth in Section 10-7.522 of the LDC. The intensity of plantings and the widths of the required buffers are determined by the existing land use.

Concurrency:

Printed: 12-08-2015

**LEON COUNTY
PERMITTED USE VERIFICATION
CERTIFICATE NUMBER: VC150155**

The application shall demonstrate compliance with concurrency requirements of the Land Development Code (Article III of the LDC). No final development order can be issued unless there is sufficient, available capacity to meet the level of service standards for the existing population, vested development, and for the proposed development. A final development order and final certificate of concurrency cannot be issued without documentation from the Leon County School Board that school concurrency has been satisfied. If you have any further questions, please contact the Concurrency Management Planner with Development Services at 850-606-1300.

Permitted Use Verifications are not development order approvals. This determination shall not be construed to grant exemption from any other development regulation or permitting requirement as may otherwise be applicable. This review does not include an analysis of environmental constraints. All environmental constraints on-site shall be addressed in a manner consistent with the Conservation Element of the Comprehensive Plan and the County Environmental Management regulations, Article IV of the Land Development Code.

-----CONDITIONS-----

Subject to the following sequence of reviews and required approvals:

- 1: Pre-submittal Meeting (free of charge; highly encouraged): Contact Development Services at 606-1300.
- 2: Development may be subject to City/County Water & Sewer Agreement. Contact City Utilities at 891-6101
- 3: Natural Features Inventory (NFI; shall be approved prior to submitting a Type "B" application): Contact Environmental Services at 850-606-1300
- 4: Type B Review FDPA Track or CPA Track: Contact Development Services at 850-606-1300
- 5: Environmental Management Permit (EMP): Contact Environmental Services at 850-606-1300
 - a. FDPA Track - EMP shall be submitted concurrently with Type "B" application
 - b. CPA Track - EMP shall be submitted subsequent to Type "B" application approval
- 6: Concurrency Certificate: Contact Concurrency Mgt at 850-606-1300
- 7: Building Permit: Contact Building Plans Review and Inspection at 850-606-1300

Submittal requirements are pursuant to the Leon County Zoning, Site and Development Plan and Subdivision Procedures and Information Manual for the Process identified above.

Subsequent permitting and site plan review may limit the ability to construct above described development. This certificate is exclusive to the terms and conditions herein and is valid under the 2010 Comprehensive Plan and the Leon County Land Development Regulations in effect at the time of issuance. Amendments to the 2010 Comprehensive Plan or to the Land Development Regulations may alter the terms and conditions of this certificate.

No Permitted Use Verification Application and/or Permitted Use Verification Certificate shall be the basis for any claims of estoppel or vesting as against any land development regulations or zoning regulations, which may be adopted on or after the date of the Permitted Use Verification Application and/or the Permitted Use Verification Certificate.

Date: 12/08/2015
Revised N Version: 0
Previous PUV#: _____

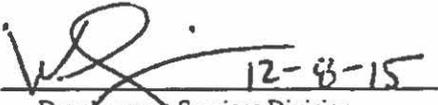

12-08-15
Development Services Division
Development Support and Environmental Management

Exhibit 3c

Applicant's Affidavit of Ownership & Designation of Agent

Approved as to form:
Leon County Attorney's Office
Suite 217, 301 South Monroe St.
Tallahassee, FL 32303



Applicant's Affidavit of Ownership & Designation of Agent

Leon County
Board of County Commissioners

Department of Development Support &
Environmental Management
435 North Macomb St.
Tallahassee, FL 32301

Phone#: (850) 606-1300
Fax#: (850) 606-1301

E-1

Application is hereby made to obtain approvals and permit(s) to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction and development of land in this jurisdiction.

Section 10-4.201. Permit requirements

Section 10-4.201(a) of Leon County Code of Laws states:

- (a) *Environmental management permit.* Prior to engaging in any development activity, and prior to removing, damaging, or destroying any protected tree, the person proposing to engage in such activity and the owner of the land on which such activity is proposed to occur shall first apply for and obtain an environmental management permit, or a right-of-way placement permit, general permit, or silviculture permit, where appropriate pursuant to subsections(c), (d), or (e). For purpose of applying for and obtaining a permit, the term "owner" shall include the following: fee simple owner; easement holder; life tenant; tenant with a written lease specifically authorizing the tenant to secure permits; and federal, state, and local governmental entities and utilities with rights to entry, easements or other interests in real property.

Section 10-7.107 Compliance

Section 10-7.107(a) & (b) of Leon County Code of Laws states:

- (a) No subdivision of any lot, tract, or parcel of land shall be effected, no street, sanitary sewer, septic tank, wells, storm sewer, water main, or other facilities in connection therewith shall be laid out, constructed, opened, or dedicated for public use or travel, or the common use of occupants of buildings abutting thereon, nor site development commenced, except in strict accordance with the provisions of this article and applicable Florida Statutes.
- (b) No person, developer, applicant or any other legal entity or association shall create a subdivision of land or develop any lot within a previously approved subdivision or undertake development on a parcel anywhere in the unincorporated area of the county except in conformity with this article. No subdivision shall be platted or recorded unless such subdivision meets all the applicable county ordinances, and those of any applicable laws of the state, and has been approved in accordance with the requirements of this article.

In order for this application to be considered complete, the applicant must sign and date this affidavit of ownership in the presence of a Notary Public.

Deed Restrictions and Covenants

Prior to pursuing an environmental permit application, applicants should review any Deed Restrictions and/or Covenants which may apply to a particular site. Applicants should be aware that Deed Restrictions or Covenants are private civil issues and therefore are not enforced or reviewed by the County.

Based on this information, I hereby acknowledge that I have been advised that I should seek out and obtain information on my own to identify if there are any Deed Restrictions and/or Covenants on the use of the site associated with this permit application. _____ Owner's Initials

Public Record Information

Chapter 119, Florida Statutes, Section 119.071(4)(c)(d) Subparagraphs 1-8 exempt the public release of select information pertaining to the name, address, and phone numbers of certain public employees, e.g. law enforcement personnel, their spouses and children. Do you or your spouse fall into one of these protected categories? Yes _____ No .

If so, do you want the exempt information that is included on this application withheld from the public, or from any official public record request? Yes _____ No .

The authenticity of the request to withhold this specific information from the public as specified in Chapter 119, Florida Statutes is subject to verification by this Department. _____ Owner's (s')Initials

E-1

OWNER'S CERTIFICATION

I (we), Ameris Bank, certify that I (we) am (are) the owner(s), as defined by Sections 10-1.101 and 10-4.201(a) of the Leon County Code of Laws, of the property described herein. Parcel I.D.# 21-31-20-007-0030 (For each additional parcel, a new affidavit form is required)

OWNER'S (S') NAME:
Ameris Bank

OWNER'S (S') ADDRESS:
7915 Baymeadows Way, Suite 300

CITY	COUNTY	STATE	ZIP CODE
<u>Jacksonville,</u>	<u>Duval</u>	<u>Florida</u>	<u>32256</u>

APPLICANT(S) SIGNATURE: [Signature] DATE APPLICATION COMPLETE: 11-24-2015

I. DESIGNATION OF APPLICANT'S (S') AGENT (Leave blank if not applicable)

As the owner(s) of the above-designated property and the applicant for which this affidavit is submitted, I wish to designate the below named party as my agent in all matters pertaining to the location address. In authorizing the agent named below to represent me or my company, I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief.

Applicant's Agent: Moore Bass Consulting, Inc. (Tom O'Steen) tosteen@moorebass.com

Contact Phone: 850-222-5678

Telephone No.:

Address: 805 North Gadsden Street, Tallahassee, FL 32303

II. NOTICE TO OWNER (S)

- A. All changes in ownership and applicant's agent prior to issuance shall require a new affidavit. If ownership changes, the new owner assumes the obligations and the original applicant is released from responsibility for actions taken by others after the change in ownership.
- B. If the Owner intends the Designation of Applicant's Agent to be limited in any manner, please indicate the limitation below (i.e., limited to obtaining a Certificate of Concurrence for the parcel; limited to obtaining a land use compliance certificate; etc.).

C. ACCESS TO PROPERTY

By submitting this application, I (we) am (are) providing permission for Leon County personnel to inspect at reasonable times the property and work required under any permit issued under this application for compliance with applicable codes as specified in Leon County's Code of Laws, Chapter 10, Section 10-1.105 and 10-4.212. Unless the inspection requires entry into a private residence, no further permission will be required. [Signature] Owner's (s') Initials

NOTARY PUBLIC - CROSS THROUGH NOTARY SECTIONS NOT USED

STATE OF: Florida COUNTY OF: Leon

For an individual or individuals acting in his, her or their own right; or

Sworn to (or affirmed) and subscribed before me this _____ day of _____, 20____, by _____, (name of person acknowledging) who is personally known to me or who has produced _____ as identification. (type of identification produced)

For Corporation or Governmental Entity; or

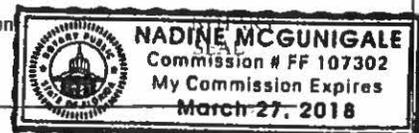
Sworn to (or affirmed) and subscribed before me this 24 day of November, 2015 by Robert W. Mullins, Senior Vice President of Ameris Bancorp, a Florida (name of officer or agent, title of officer or agent) (office held) (name of corporation) (state) corporation, on behalf of the corporation. He/she is personally known to me or has produced personally known as identification. (type of identification produced)

For Partnership

Sworn to (or affirmed) and subscribed before me this 24 day of November, 2015 by _____, (name of acknowledging partner) partner on behalf of _____, a partnership (name of partnership) He/she is personally known to me, or has produced _____ as identification (type of identification produced)

Signature of Notary

Print, Type or Stamp Commissioned Name of Notary



Title or Rank

Serial Number, If Any

Exhibit 3d

School Impact Analysis Form dated January 12, 2016

SCHOOL IMPACT ANALYSIS FORM

Site and Development Plan
FOR RESIDENTIAL PROJECTS ONLY

<p>Project Name: Proposed Residential Condominiums on Blountstown Highway</p> <p>Agent Name: Moore Bass Consulting, Inc.</p> <p>Applicant Name: Floresta, LLC</p> <p>Address: 2073 Summit Lake Dr., Ste 155</p>	<p>Date: 1-12-16</p> <p>Telephone: 850-222-5678</p> <p>Fax: 850-681-2349</p> <p>Email: jjohnston@moorebass.com; bhood@moorebass.com</p>									
<p>① Location of the proposed project:</p> <p>Tax ID #: 21-31-20-007-0030</p> <p>Property address: 5044 Blountstown Highway, Tallahassee, FL</p> <p>Related Application(s) [if applicable]: Leon County Type A Site Plan</p> <p>Level of Review [See PUV, if Applicable]: Type A CPA Track</p>										
<p>② Future Land Use Map category and Zoning designation:</p> <p>Future Land Use Map category: Suburban</p> <p>Zoning district: R-3</p>										
<p>③ Development Specifics:</p> <p>Number of proposed dwelling units: <u>24</u></p> <p>Type(s) of dwelling units, (provide # for each type, e.g. single family & multi-family):</p> <p style="margin-left: 40px;"><u>Single-family residential condominium</u></p> <p>Base square footage of dwelling units: <u>300 sf</u></p>										
<p>Leon County Schools staff use only:</p>										
<p>④ School concurrency service areas (attendance zones) in which property is located.</p> <table style="width: 100%; border: none;"> <thead> <tr> <th style="text-align: center; width: 33%;">Elementary:</th> <th style="text-align: center; width: 33%;">Middle:</th> <th style="text-align: center; width: 33%;">High:</th> </tr> </thead> <tbody> <tr> <td>Present capacity _____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>Post Development capacity _____</td> <td>_____</td> <td>_____</td> </tr> </tbody> </table> <p>Is additional coordination with Leon County Schools necessary? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>		Elementary:	Middle:	High:	Present capacity _____	_____	_____	Post Development capacity _____	_____	_____
Elementary:	Middle:	High:								
Present capacity _____	_____	_____								
Post Development capacity _____	_____	_____								

This form is required by §8.3 of the Public School Concurrency and Facility Planning Interlocal Agreement as adopted on September 1, 2006 by the City of Tallahassee, Leon County, and Leon County School Board. Pursuant to §6.4 of the Agreement, the City or County will transmit the School Impact Analysis Form to a designated employee of the School Board for review at the same time the application is submitted to all departments for review.



Exhibit 3e

Application for Concurrency Determination dated January 11, 2016

LCM# _____



APPLICATION FOR CONCURRENCY DETERMINATION
Leon County Growth and Environmental Management
435 North Macomb Street
Tallahassee, Florida 32301
(850) 606-1300

INSTRUCTIONS: Attached is the application necessary to obtain either a Conditional Certification of Concurrence and/or a Certificate of Concurrence in Leon County. A Policy and Procedures Manual has been prepared in conjunction with this application which defines the concurrency requirements of the Comprehensive Plan and which outlines the concurrency review process. The applicant should read the Leon County Concurrence Policies and Procedures Manual prior to the completion of this application in order to fully understand the procedures that must be followed during a concurrency review.

STATEMENT AND SIGNATURE: I, Tom O'Steen, the undersigned owner or authorized representative of Residential Condominiums hereby request a Concurrence Determination for the project described in the attached application. I certify that all information submitted with and pursuant to this application is true and correct to the best of my knowledge and belief.

1-11-16
Date

Tom O'Steen
Signature
805 N. Gadsden Street
Street
Tallahassee
City
FL 32303
State Zip

PROJECT INFORMATION

1. APPLICANT/AGENT INFORMATION:

Name Address Phone Number Facsimile Number
Moore Bass Consulting, Inc. 805 N. Gadsden Street, Tallahassee, FL 32303 850-222-5678 (agent)
Floresta, LLC, 2073 Summit Lake Dr., Ste 155, Tallahassee, FL 32317

E-Mail Address of Primary Contact: jjohnston@moorebass.com; tosteen@moorebass.com

2. NAME OF PROJECT: Include the current name of the proposed project (subdivision if applicable) and any previous names the project has been known as: Proposed Residential Condominiums on Blountstown Highway

3. PARCEL IDENTIFICATION NUMBER(S): 21-31-20-007-0030

Is property located in the Urban Services Area (USA)? Yes No

4. DEVELOPMENT REVIEW: Indicate which Site and Development Plan Review Process the proposed project is undertaking (Limited Partition or Type A, B, C, D; Refer to the PUV Certificate for Reference): Type A (CPA Track)

5. PROPOSED PROJECT INFORMATION:

A. Provide a location map including project narrative and site plan (to scale) which clearly depicts the following:

1. Adjacent Streets, Adjacent Driveways, Internal Streets, and Project Access Points including Lane Geometry and Signage
2. Potable Water and Sanitary Sewer Systems serving site
3. Stormwater Facilities
4. Existing and Proposed Structures and Buildings
5. Recreation/Open Space

B. Present on-site land uses with number of units or square footage: vacant

C. Zoning: R-3

D. Future Land Use Designation: Suburban

E. Indicate the type and size of development proposed for this site:

Type: Single Family Multi-Family Industrial Commercial Institutional

Size: 24 units/ SQFT/UNITS/LOTS/ACRES

F. In the following table, show the project timeline beginning with the submittal date of the Development Order (DO) application and ending with the expected project build out date (month and year)

DO Submittal	Anticipated Completion of DO	Anticipated Build Out Date

6. WATER AND SANITARY SEWER SERVICE (CITY UTILITIES ONLY):

A. Waiver of Reservation of Water/Sewer Capacity: For projects located within the USA, the applicant may request to waive concurrency review for City water and sewer until a building permit is issued or tap approval, whichever is first (Section 2.2.0 Leon County's Concurrency Management System Policies and Procedures Manual).

Please indicate if you wish to waive reservation of water and sewer system capacity:

Waive (Requires Documentation) Do Not Waive N/A

B. Potable Water Source: City Talquin Well

C. Sanitary Sewer Provider: City Talquin Septic

7. CONCURRENCY DETERMINATION REVIEW FEES

RESIDENTIAL SECTION

(Complete this section only if there is a residential component to the project.)

A. The application review fee for the first residential unit is \$156.00 \$ 156.00

B. Multiply each additional unit by \$24.00 and enter that amount. \$ 552.00

C. Add items 1 and 2 for the total residential fee and enter that amount. \$ _____

COMMERCIAL SECTION

(Complete this section only if there is a commercial component to the project.)

D. The application review fee for first 1,000 square feet (or less) is \$228.00 ~~\$ 228.00~~

E. Multiply each additional 1,000 square feet by \$48.00 and enter that amount ~~\$ _____~~

F. Add items 4 and 5 for the total commercial fee and enter that amount. ~~\$ _____~~

TOTAL CONCURRENCY REVIEW FEE

(Add totals from the residential and commercial sections.)

7. Add items C and F for the total review fee and enter that amount. \$ 708.00

STOP: IF THIS PROJECT IS EXPECTED TO GENERATE LESS THAN 100 TRIPS (AS IDENTIFIED BY THE LEON COUNTY CONCURRENCY MANAGEMENT SECTION), NO ADDITIONAL INFORMATION IS REQUIRED. OTHERWISE, COMPLETE THE LARGE PROJECT TRANSPORTATION IMPACT ANALYSIS APPLICATION.

Revised Sept 10, 2008

G:\Development Services\Brian W\Special Projects\concurrency_changes\application_for_concurrency_determination.doc

Exhibit 3f

Natural Features Inventory Approval with Conditions
dated January 11, 2016



Leon County

Board of County Commissioners

301 South Monroe Street, Tallahassee, Florida 32301
(850) 606-5302 www.leoncountyfl.gov

Commissioners

BILL PROCTOR
District 1

JANE G. SAULS
District 2

JOHN DAILEY
District 3

BRYAN DESLOGE
District 4

KRISTIN DOZIER
District 5

MARY ANN LINDLEY
At-Large

NICK MADDOX
At-Large

VINCENT S. LONG
County Administrator

HERBERT W.A. THIELE
County Attorney

Department of Development Support
& Environmental Management
Division of Environmental Services
Renaissance Center, 2nd Floor
435 North Macomb Street
Tallahassee, FL 32301-1019
(850) 606-1300

January 11, 2016

Moore Bass Consulting, Inc.
c/o Tom O'Steen
805 N. Gadsden Street
Tallahassee, FL 32303

RE: Natural Features Inventory –Ref No.: LEA150065
Approved with Conditions
Project: Residential Condominiums on Blountstown Hwy
Parcel No.: 21-31-20-007-0030

Dear Mr. O'Steen:

We have completed our review of the above referenced application initially received on December 7, 2015 and last supplemented on January 8, 2016. The Natural Features Inventory (NFI) application is approved with the following conditions.

1. Any archaeological and historical sites identified on the property shall be protected in accordance with the recommendations of the Florida Department of State, Division of Historic Resources (DHR), Compliance Review Section, as specified in the Leon County Land Development Code (LDC), Section 10-4.202(a)(2)b.7.

As indicated by the Florida Department of State, more particularly DHR, in their December 3, 2015 letter (attached): In the event that unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with Section 872.05, Florida Statutes.

However, in the event that fortuitous finds, prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, or other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project area, all activities

Project: Residential Condominiums on Blountstown Hwy
Project No.: LEA150065
NFI Approval with Conditions Letter
Page 2 of 2

involving subsurface disturbance in the immediate vicinity of such discoveries should cease. The applicant shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section at 850-245-6333 or 800-847-7278, as well as this Department. Project activities shall not resume without verbal and/or written authorization.

General Comments:

Non-inclusion in this letter of a Leon County Land Development Regulation/Requirement does not constitute exemption from compliance with the requirement. All the required information for any separate Building Permit Application, and/or Environmental Management Permit Application shall be provided at that time.

Please contact me at (850) 606-1371 with any questions you may have concerning this NFI approved with conditions.

Sincerely,



Katy Collins
Environmental Review Specialist

cc: Ameris Bank, 7915 Baymeadows Way, Suite 300, Jacksonville, FL 32256

Attachments: NFI Summary
Boundary and Topographic Survey
Natural Features Inventory Map
DHR Letter dated 12/3/2015

ATTACHMENT I

NATURAL FEATURES INVENTORY SUMMARY

Land Use Application Type: NFI Review Date: January 11, 2016

Project Name: Residential Condos on Blountstown Hwy Parcel No.: 21-31-20-007-0030

Site acreage: Approximately 33.52 acres Project No.: LEA 150065

Refer to site plans received: Boundary Survey

GENERAL DESCRIPTION OF PROPOSAL: The site is a currently vacant and mostly wooded lot. Residential housing is proposed for the site.

GENERAL VEGETATION DESCRIPTION: An approximate 2.05 acre wetland is located at the northern end of the 33.52 acre parcel. This wetland contains laurel oak (*Quercus laurifolia*), red maple (*Acer rubrum*), magnolia (*magnolia virginiana*), ash (*Fraxinus caroliniana*), pond cypress (*Taxodium ascendens*), swamp chestnut (*Quercus michauxii*), fetterbush (*Lyonia lucida*), Virginia willow (*Itea virginiana*), and Virginia chain fern (*Woodwardia virginica*).

Physiography: Tallahassee Red Hills

Drainage Basin: Lake Munson

Watershed: Gum Creek West

ITEM	APPLICABLE COMMENTS
A. Sensitive Features	
1. closed basins	N
2. water bodies	N
3. watercourses	Y
4. wetlands	Y
5. flood prone areas	Y
6. grades 10-20%	Y
7. grades >20%	Y
8. high qual. success. forest	N
9. native forest	N
10. listed species	N
11. karst features	N
12. special dev. zones A, B	N
13. canopy roads	N
14. archeological/ historical	N
15. wells	N
16. protected trees	Y
a. quality indiv., tree clusters	N
b. perimeter setback	N

Project Name: Residential Condominiums on Blountstown Hwy
Project No.: LEA150065
NFI Summary
Page 2 of 2

B. Drainage

- | | |
|------------------------|---|
| 1. stormwater mgmt. | Y |
| 2. discharge available | Y |

COMMENTS:

1. Based on the Soil Survey of Leon County, Florida, the majority of the site consists of Lakeland fine sand, 0 to 5 percent slopes (hydrologic group "A"). The northernmost portion of the site where the wetland is located contains Plummer Fine Sand (hydrologic group "B/D").

COMPLETED BY: Katy Collins

January 11, 2016



FLORIDA DEPARTMENT of STATE

RICK SCOTT
Governor

KEN DETZNER
Secretary of State

Mr. Tom O'Steen
Moore Bass Consulting
805 N. Gadsden Street
Tallahassee, Florida 32303

December 03, 2015

RE: DHR Project File No.: 2015-5798/ Received by DHR: December 02, 2015
Project: *Kearney Center Housing - 5044 Blountstown Highway*
County: Leon

Dear Mr. O'Steen,

In accordance with the procedures contained in the City of Tallahassee / Leon County's Natural Features Inventory requirements, we reviewed the referenced property for possible impact to cultural resources (any prehistoric or historic district, site, building, structure, or object) listed, or eligible for listing, in the *National Register of Historic Places*, or otherwise of historical, archaeological, or architectural value.

It is the opinion of this office that the proposed project is unlikely to affect historic properties. However, unexpected finds may occur during ground disturbing activities, and we request that the permit, if issued, should include the following special condition regarding inadvertent discoveries:

- If prehistoric or historic artifacts, such as pottery or ceramics, projectile points, dugout canoes, metal implements, historic building materials, or any other physical remains that could be associated with Native American, early European, or American settlement are encountered at any time within the project site area, the permitted project shall cease all activities involving subsurface disturbance in the vicinity of the discovery. The applicant shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section at (850)-245-6333. Project activities shall not resume without verbal and/or written authorization. In the event that unmarked human remains are encountered during permitted activities, all work shall stop immediately and the proper authorities notified in accordance with Section 872.05, *Florida Statutes*.

For any questions concerning our comments, please contact Mary Berman, Historic Sites Specialist, by phone at 850.245.6333 or by electronic mail at Mary.Berman@dos.myflorida.com.

Sincerely,

Robert F. Bendus, Director
Division of Historical Resources
and State Historic Preservation Officer



Division of Historical Resources
R.A. Gray Building • 500 South Bronough Street • Tallahassee, Florida 32399
850.245.6333 • 850.245.6439 (Fax) dos.myflorida.com/historical/
Promoting Florida's History and Culture VivaFlorida.org



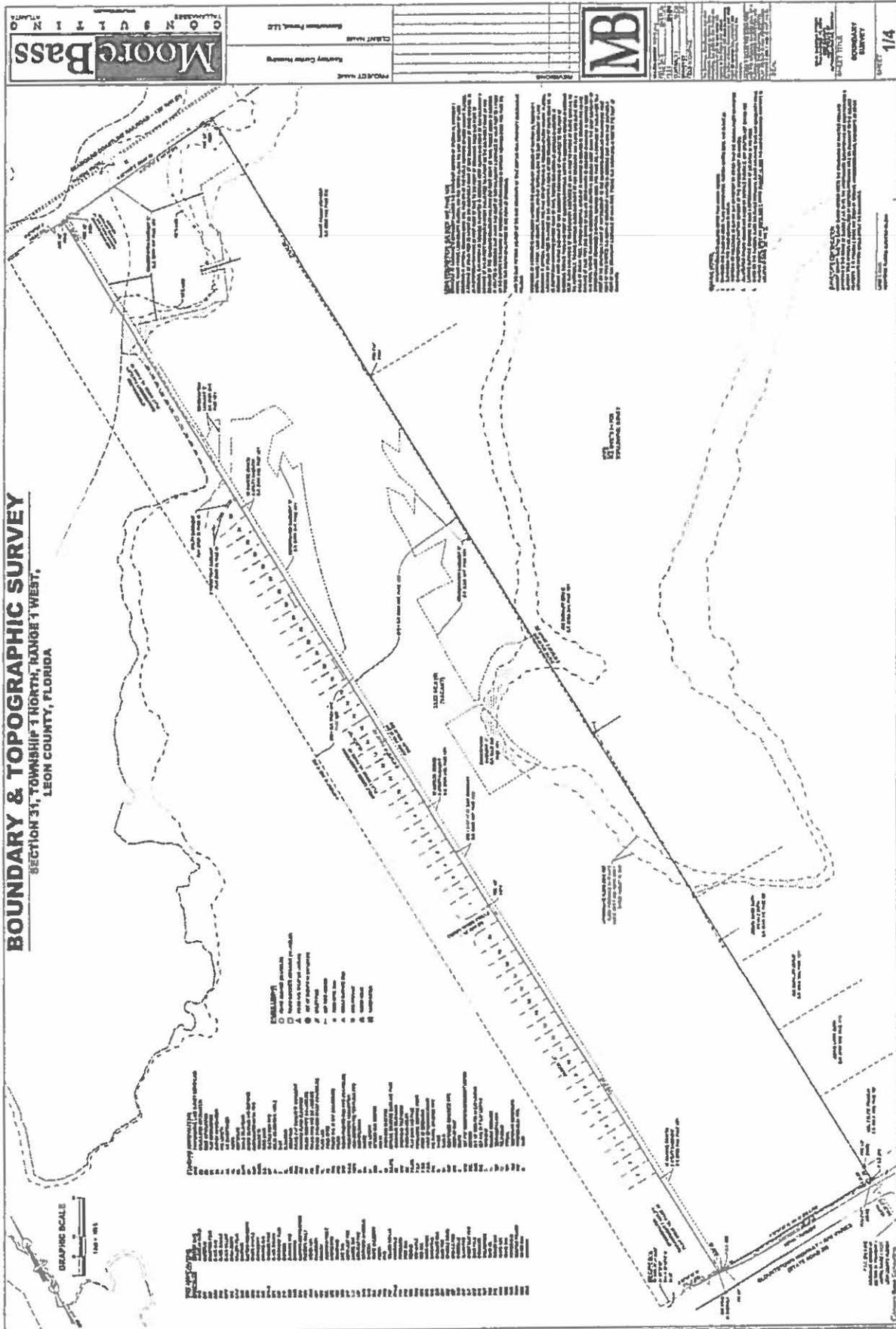


Exhibit 3g

Site Plan Narrative dated January 13, 2016



Land Use Planning • Engineering Design • Environmental Permitting • Landscape Architecture • Surveying

Proposed Residential Condominiums on Blountstown Highway
Type A – Site Plan Narrative
Tax ID No. 21-31-20-007-0030
MBC #554.096

January 13, 2016

GENERAL

The proposed project site is a tract totaling 33.52+/- acres located on the north side of Blountstown Highway. The property lies in Section 31, Township 01 North, Range 01 West. The site is currently vacant and mostly wooded. The residential condominium project is limited to the front +/- 4 acres along Blountstown Highway and will include the entry drive with guest parking, a stormwater pond and 24 residential units.

Each unit is a small footprint unit for low-income residents. It is anticipated that not all residents will rely upon a vehicle for transportation and therefore not all units will have driveways. Units will range in size, but will be less than 500 gsf, single story dwellings. The units will be placed within the identified area and located among the existing trees of the property to retain a wooded development. Future phases of construction may include community buildings and additional units based on market conditions.

Coordination with the Leon County Building Official has verified the Florida Building Code regulations for these structures.

PARKING

As noted, not all residents will have vehicles for personal use, however a combined resident / guest parking area is provided that contains 18 regular parking spaces and 2 handicapped parking spaces. The remainder will be grass parking located closer to the units and to reduce the impervious footprint. These grass spaces will be identified with railroad ties off of the paved driveway. Bicycle "parking" will be provided for each unit and will occur on the covered porches of the individual units.

A deceleration lane in the west-bound lane of Blountstown Highway will be constructed that connects to the proposed project driveway. This turn-lane and driveway have been coordinated with the FDOT who holds jurisdiction for Blountstown Highway.

The driveway will be designed to Leon County standards and will terminate past the community parking lot to allow for a "T" turnaround for emergency vehicles and garbage trucks.

Exhibit 4

Site and Development Plan submitted January 12, 2016

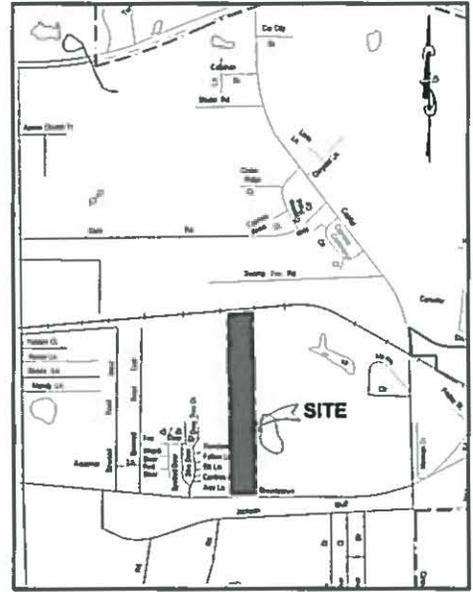
TYPE "A" SITE PLAN - CONCEPTUAL PLAN APPROVAL TRACK (LSP 16XXXX) FOR PROPOSED RESIDENTIAL CONDOMINIUMS ON BLOUNTSTOWN HIGHWAY



PROJECT NAME: PROPOSED RESIDENTIAL CONDOMINIUMS ON BLOUNTSTOWN HIGHWAY
 CLIENT NAME: HILLTOP PROPERTIES, LLP

SHEET	DESCRIPTION
1.0	COVER SHEET
2.0	OVERALL EXISTING CONDITIONS
2.1	PROJECT AREA EXISTING CONDITIONS
3.0	GEOMETRY PLAN
3.1	CIRCULATION PLAN
4.0	GRADING PLAN
5.0	ENVIRONMENTAL FEATURES IMPACT SHEET
6.0	CONCEPT UTILITY PLAN

INDEX



LOCATION MAP

SCALE: 1" = 1000'

TAX I.D. NO.:	21-31-20-007-0030
PROJECT NAME:	PROPOSED RESIDENTIAL CONDOMINIUMS ON BLOUNTSTOWN HIGHWAY
CLIENT NAME:	HILLTOP PROPERTIES, LLP 2073 SUMMIT LAKE DRIVE, SUITE 155 TALLAHASSEE, FLORIDA 32317
PREPARED BY:	MOORE BASS CONSULTING, INC. 805 NORTH GADSDEN STREET TALLAHASSEE, FLORIDA 32303 (850)222-5678
ENGINEER OF RECORD:	BEN B. HOOD, P.E. FL. REG. NO. 69167 805 NORTH GADSDEN STREET TALLAHASSEE, FLORIDA 32303 (850)222-5678
SURVEYOR OF RECORD:	LARRY D. DAVIS FL. REG. NO. 5254 805 NORTH GADSDEN STREET TALLAHASSEE, FLORIDA 32303

PROJECT DATA

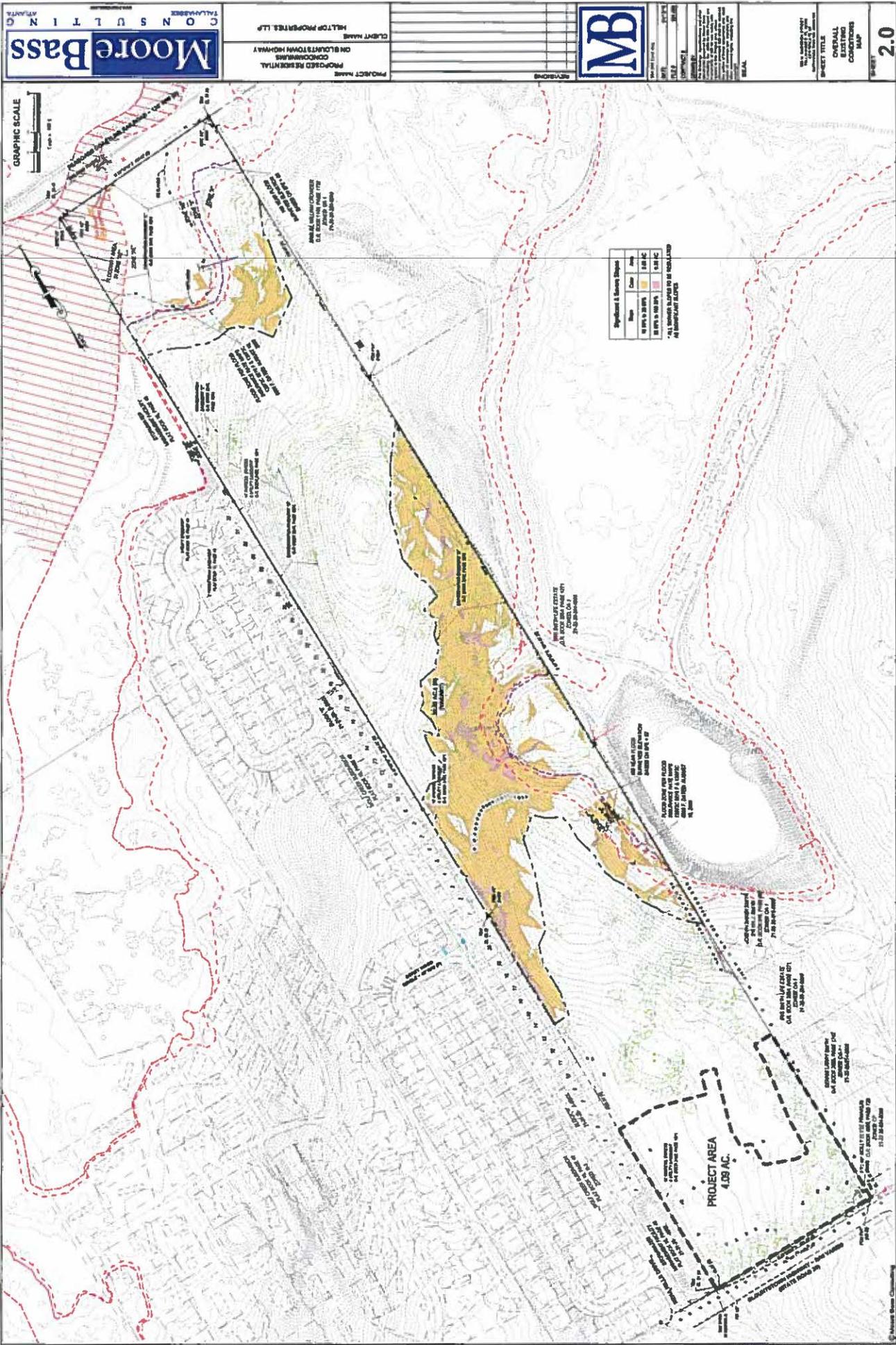
Elevations are based on N.A.V.D. 88 Datum.

GOVERNING SPECIFICATIONS:
 F.D.O.T. Specifications for Road and Bridge Construction, 2015
 F.D.O.T. Design Standards, 2015
 F.D.O.T. Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (Green Book)
 City of Tallahassee Technical Specifications for the Water and sewer Construction, Latest Edition

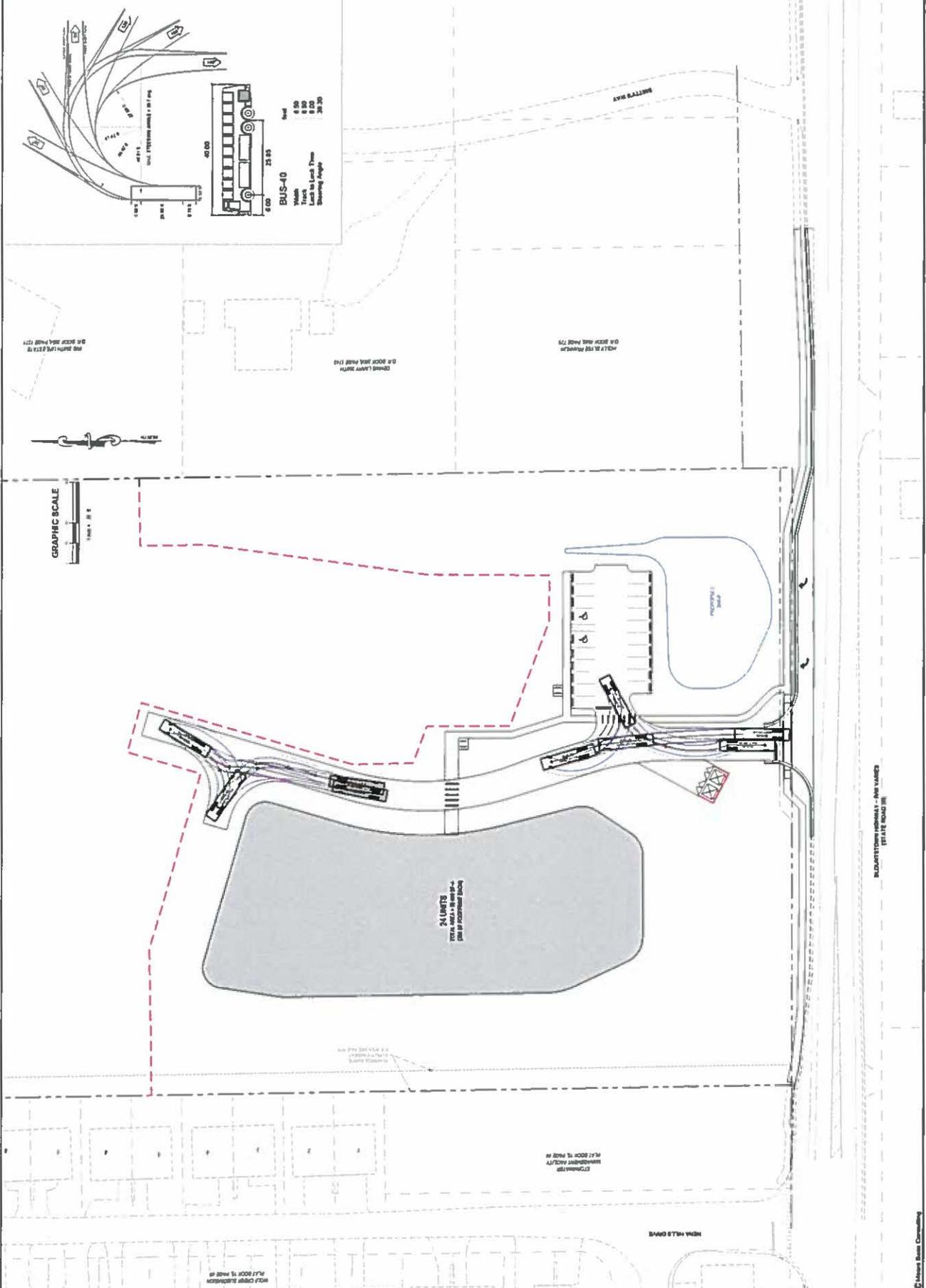
PROPOSED UTILITY PROVIDERS:
 WATER - CITY OF TALLAHASSEE
 SEWER - CITY OF TALLAHASSEE
 ELECTRIC - CITY OF TALLAHASSEE
 NATURAL GAS - CITY OF TALLAHASSEE
 PHONE - CENTURY LINK, INC.
 CABLE - COMCAST, INC.



DATE: 11/15/2021
 TIME: 10:00 AM
 CONTRACT: 16XXXX
 SHEET NO: 1.0
 SHEET TITLE: COVER SHEET
 SHEET: 1.0



	PROJECT NAME PROPOSED RESIDENTIAL CONDOMINIUMS ON BLOUNTSTOWN HIGHWAY		CLIENT NAME HILLTOP PROPERTIES, L.P.
	PROJECT NUMBER _____		REVISIONS _____
SHEET TITLE CIRCULATION PLAN		SHEET NUMBER 3.1	



INDIA HILLS DRIVE - SEE PLANS
 BLAUNTSTOWN HIGHWAY - SEE PLANS

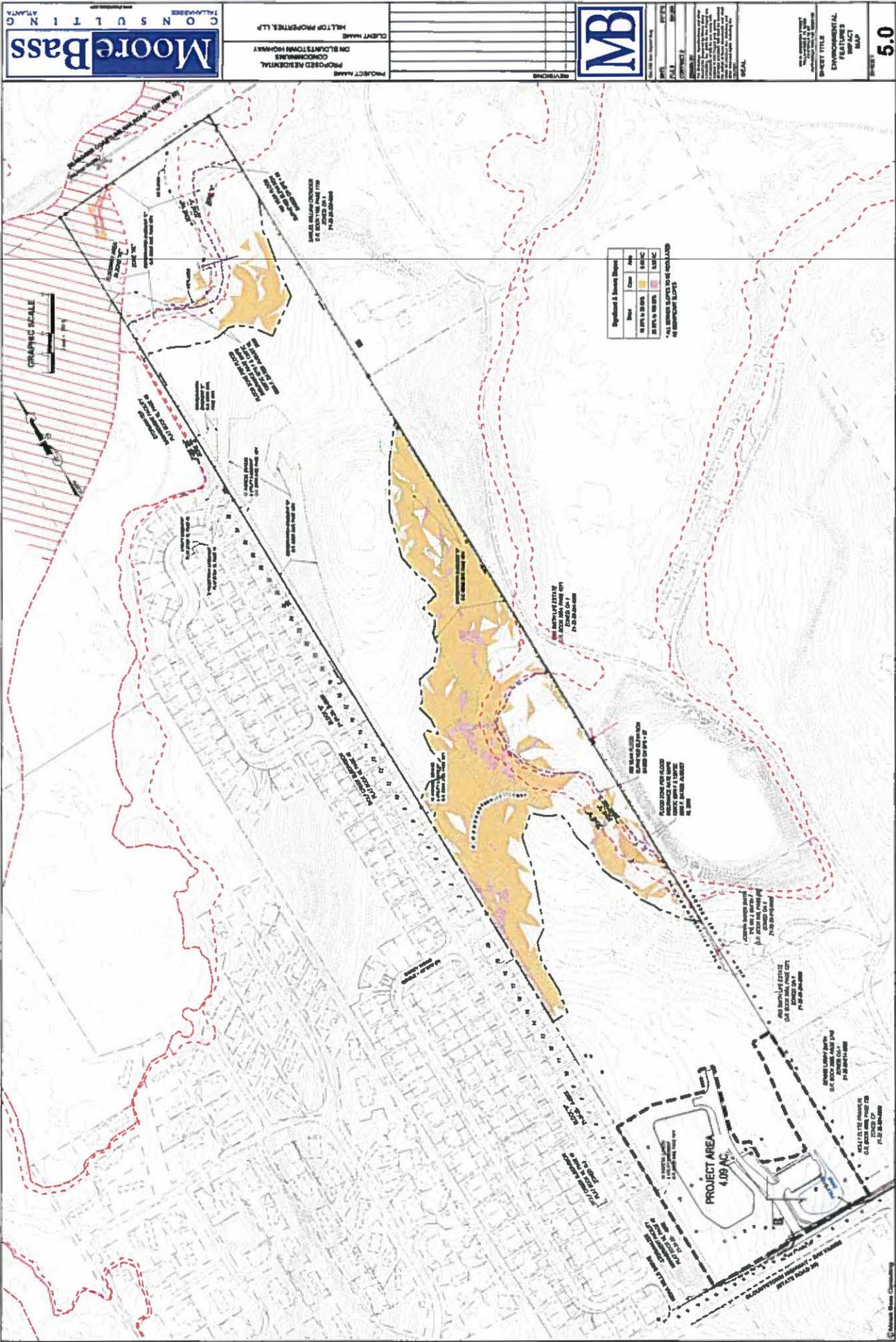


Exhibit 5

Notice of Application Review Meeting



**LEON COUNTY
NOTICE OF AN APPLICATION REVIEW MEETING
FOR A PROJECT REQUIRING TYPE "A" LEVEL SITE PLAN REVIEW**

An Application Review Meeting for a Type "A" level site and development plan has been scheduled with the Leon Department of Development Support and Environmental Management, Development Services Division. You are being notified of this meeting because you own property within 600 feet of the proposed development, or you are the representative of a homeowners' association in close proximity to the proposed development. Staff from several departments will be present at this meeting to discuss the merits and any issues associated with the proposed development.

(Project location map on reverse side)

SUMMARY OF PROPOSAL

Project Name:	Residential Condominium Project, Blountstown Highway
Review Track:	Type "A", Concept Plan Approval (CPA) Track
Project Location:	5044 Blountstown Highway
Project Area:	4.09 acres (Total parcel acreage: 33.52 acres)
Parcel ID:	21-31-20-007-0030
Existing Zoning District:	Single Detached, Attached and Two Family Residential (R-3)
Future Land Use Designation:	Urban Residential (UR-2)
Project Description:	This project consists of Phase I of a residential condominium project of 24 dwelling units. Future phases of construction may include community buildings and additional units based on market conditions.
Gross Density:	5.8 dwelling units per acre (for project area)
Applicant:	Floresta, LLC
Applicant's Agent:	Tom O'Steen, P.E., Moore Bass Consulting, Inc.
Agent's Phone Number:	850-222-5678

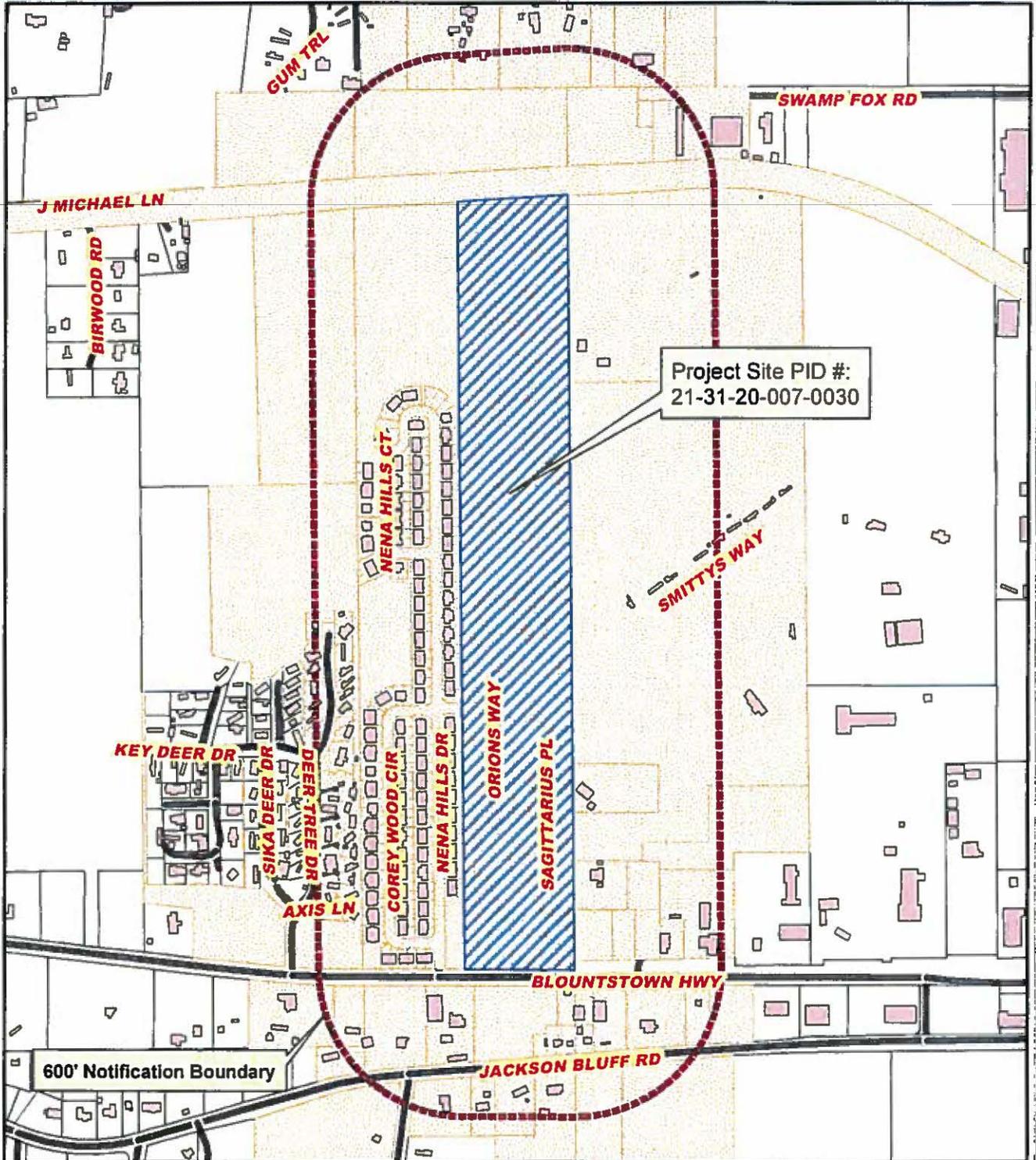
The Application Review Meeting for this project will be held on Wednesday, January 27, 2016 at 1:30 p.m. the Department of Development Support and Environmental Management, Renaissance Center, 2nd Floor, 435 N. Macomb Street. You are being notified at this time to give you an opportunity to contact the applicant, agent, or County staff to discuss the project prior to the Application Review Meeting. The scheduled meeting is the first and potentially the only meeting that will occur with County staff. This meeting is open to public attendance and public testimony will be taken prior to adjournment. The public is encouraged to provide written comments to staff prior to the meeting.

The application will be subject to administrative review and not subject to quasi-judicial provisions. In compliance with Section 10-7.403 of the Land Development Code, failure to provide written comments to Leon County Department of Development Support and Environmental Management prior to adjournment of the meeting may disqualify a person from petitioning for a formal proceeding after the meeting. Citizens who qualify as an aggrieved or adversely affected party, as defined in Section 10-7.414 of the Land Development Code, have the ability to appeal the decision of the County. The appeals process is outlined in Section 10-7.403(h) of the Land Development Code (Ch.10 Leon County Code of Laws).

In accordance with Section 286.26, Florida Statutes, persons needing a special accommodation to participate in this proceeding should contact Leon County Community and Media Relations at 606-5300, or Leon County Facilities Management at 606-5000. Written or oral requests for special accommodations shall be provided at least 48 hours prior to the meeting. 7-1-1 (TDD and Voice), via Florida Relay Service.

The application and proposed plans will be available for review at the Department of Development Support and Environmental Management Department, Renaissance Center, 2nd Floor, 435 N. Macomb Street. If you have any questions regarding this application, please contact Nancy Garcia at (850) 606-1300. You may also e-mail comments to GarcianN@leoncountyfl.gov.

PROPOSED RESIDENTIAL CONDOMINIUM PROJECT, BLOUNTSTOWN HWY TYPE 'A' SITE AND DEVELOPMENT PLAN, CPA TRACK (LSP160001)



600' Notification Boundary

Project Site PID #: 21-31-20-007-0030

- Buildings
- Site
- Notification Area
- Notified Parcels
- Roads
- Parcels

PROPOSED RESIDENTIAL CONDOMINIUM PROJECT

Location: 5044 Blountstown Highway

Map Produced By: Nancy Garcia, Planner II

01/14/2016

0 305 610 Feet



**Guidelines for Public Participation
In
Type "A", "B", and Type "C" Application Review Meetings (ARM)
& Type "D" Pre-Application Meetings**

We welcome all interested parties to our application review staff meetings. Our goal is to provide a forum for early input on proposed projects that will lead to the best possible development in Leon County. We encourage the disclosure of as much information at this meeting so that appropriate changes can occur at this early stage of the planning process.

During this meeting, staff will advise applicants, or agents, about various procedures, requirements, and issues they may encounter during the project review process. Staff will focus on compliance with the Leon County Land Development Code. Any major problems that could lead to project denial should be identified at this meeting. The public is encouraged to comment at this meeting to state any objection to the project. After this meeting, the applicant can decide whether to proceed, and how to proceed. The proposed project will require additional reviews before receiving any development approvals or permits.

At this early point in the review process, plans can be modified to accommodate any special concerns. We hope that all participants will approach this meeting in a positive way, and will think in terms of resolution, mediation, and compromise. Every attempt should be made to address problems early, rather than end up in appeals, which are costly to all.

To make the best use of everyone's time, we will adhere to the following procedures:

1. Due to space limitations, we can only seat the applicant, their representatives, and review staff at the conference table. Additional chairs are provided for other attendees. The applicant will have the option of introducing the project, or it will be introduced by a staff member. Review staff will present reports, make comments and ask questions of the applicant and their representative.
2. Public comment will be heard after the staff review period is completed. To be on the list to speak, turn in a speaker's card to the meeting facilitator before or during the staff review period for project. Speakers will be recognized in the order the cards are submitted. Each speaker will have three (3) minutes to make comment unless one speaker is representing a group of persons present at the meeting. In that case, the meeting facilitator will set a reasonable amount of time for that speaker based on the number of represented person present, and the merit of the speaker's request.
3. Our meeting time is limited because of other time demands on reviewing staff. We accept public comment with the goal of identifying problems and concerns. We may not have time at this meeting to actually find the solutions. If you have specific questions that have not been answered at the conclusion of the meeting, please call the Department of Development Support and Environmental Management, 850-606-1300, and ask for the Development Services Service Advisor. That person will assist in making arrangements for you to meet with appropriate individuals and to get additional information.
4. Staff can only recommend project approval or denial based on the Leon County Land Development Code, as adopted by the Board of County Commissioners. Therefore, we encourage you to comment on issues that address code requirements or potential violations. We also ask that you submit a written summary of your comments at the end of the meeting or within five (5) days after the meeting, so they can be made part of the file and considered carefully by all those involved with the project.

Exhibit 6

Comments submitted by Petitioners

Leon County, Development Support and Environmental Management
435 N. Macomb Street, 2nd Floor, Renaissance Center
Tallahassee, FL 32301-1019

SPEAKER'S CARD - APPLICATION REVIEW MEETING

Date: 1/27/16 *email appeal*
NAME: J P Leper *info.*
ADDRESS: P.O. Box 1576
CITY, STATE, ZIP: Tall., FL 32302
PHONE CONTACT: (H) 850-443-4057 (W)
NAME OF PROJECT: Roundtown Hwy.

Comments (optional): ~~A~~ jpl@capital.com

Leon County, Development Support and Environmental Management
435 N. Macomb Street, 2nd Floor, Renaissance Center
Tallahassee, FL 32301-1019

SPEAKER'S CARD - APPLICATION REVIEW MEETING

email
appeal
info

Date: 1/27/16

NAME: CAROL Smith

ADDRESS: 5229 Blountstown Hwy

CITY, STATE, ZIP: Tallahassee FLA 32304

PHONE CONTACT: (H) 850-321-1594 (W)

NAME OF PROJECT: Proposed Res. Condo on Blountstown Hwy

Comments (optional): C. SNARY smith@gmail.com

map
hard
copy,

Leon County, Development Support and Environmental Management
435 N. Macomb Street, 2nd Floor, Renaissance Center
Tallahassee, FL 32301-1019

SPEAKER'S CARD - APPLICATION REVIEW MEETING

Date: 1/27/16
NAME: MIELE URBAN
ADDRESS: 1931 Sika Deer Dr
CITY, STATE, ZIP: TALL, FL 32307
PHONE CONTACT: (H) 850-575-6645 (W) same
NAME OF PROJECT: proposed Residential Condominium
Project - Blountstown Hwy
Comments (optional): Project seeking approval for
4.69 acre but asks all 33.52 acre
be approved

Leon County, Development Support and Environmental Management
435 N. Macomb Street, 2nd Floor, Renaissance Center
Tallahassee, FL 32301-1019
SPEAKER'S CARD - APPLICATION REVIEW MEETING

Date: _____
NAME: Claude Walker
ADDRESS: 2073 Summit Lake Dr
CITY, STATE, ZIP: Tallahassee FL
PHONE CONTACT: (H) N/A (W) 219-8216
NAME OF PROJECT: Blounttown Hwy

Comments (optional): _____

J.P. Lepez
P.O. Box 1576
Tallahassee, FL 32302

Board of County Commissioners
Dept. Of Development Support and Environmental Management
Development Services Division
435 N. Macomb Street
Tallahassee, FL 32301

January 27, 2016

RE: Residential Condominium Project, Blountstown Highway, Parcel ID #21-31-20-007-0030

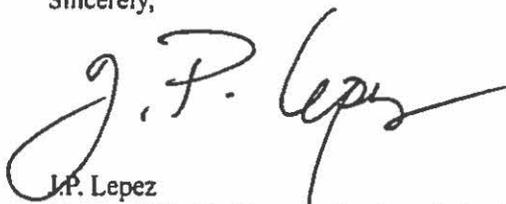
Dear Sir or Madame:

As per the instructions on your Summary of Proposal I am providing written comment regarding this project's proposal. As the owner of 1965 Nena Hills Drive, which is directly adjacent to this property, I am adversely affected by this project. As well, I am asking the governmental agency processing this application to consider the following:

- That such development affects 200 homeowners in the neighboring Wolf Creek subdivision and other smaller communities.
- That notice of such development was very short for these homeowners adversely affected (less than two weeks).
- That details of the project and the type of proposed housing has been obfuscated and that any proposals dealing with specialized housing that may affect property values should be advertised openly.
- That traffic issues on this portion of Blountstown Highway be examined and studied appropriately.
- That Wolf Creek already presents a large run-off and flooding problem due to the subdivision's hasty construction which would only be exacerbated by new development.
- That a large black bear population that has been inhabiting this parcel and the parcels surrounding it due to the construction of Capital Circle NW will be further problematic should deforestation occur.

I ask that the Department please deny or delay decision of such project until further details of the project can be provided to the many homeowners directly affected. As well, that they may have an opportunity to opine on the matter.

Sincerely,



J.P. Lepez
Licensed Florida Community Association Manager

Exhibit 7

Application Review Meeting Report for January 27, 2016 Meeting



LEON COUNTY
DEPARTMENT OF DEVELOPMENT SUPPORT &
ENVIRONMENTAL MANAGEMENT
DEVELOPMENT SERVICES DIVISION

APPLICATION REVIEW MEETING

January 27, 2016 @ 1:30 p.m.

RECOMMENDATION: TBD AT MEETING

PROJECT NAME: Proposed Residential Condominiums on Blountstown Highway
PROJECT ID #.: LSP160001
PARCEL I.D. NUMBER: 21-31-20-007-0030
PROJECT ACREAGE: 4.09 +/- acres (33.52 +/- total acreage)
LEVEL OF REVIEW: Type "A" Site Plan, CPA Track
PROPERTY OWNER: Ameris Bank
7915 Baymeadows Way, Suite 300
Jacksonville, FL 32256

APPLICANT: Floresta, LLC
2073 Summit Lake Drive, Suite 155
Tallahassee, FL 32317

OWNER'S AGENT: Tom O'Steen
Moore Bass Consulting, Inc.
805 N. Gadsden Street
Tallahassee, FL 32303

ZONING DISTRICT: Single-and-Two Family Residential (R-3)
FUTURE LAND USE: Urban Residential 2 (UR-2)
DENSITY/INTENSITY: 5.8 du/acre (24 units total)
LOCATION: 5044 Blountstown Highway
ROADWAY ACCESS: Blountstown Highway (Principle Arterial Roadway)
Private Access Easements

UTILITY PROVIDER: City of Tallahassee Utilities
APPROVAL BODY: County Administrator or designee

PROJECT SUMMARY: The project consists of a Phase I of a single-family residential (condominium) project to be developed on 4.09 acres of the total parcel. This initial phase of this project will consist of 24 single-family m units. Future phases of construction may include community buildings and additional dwelling units based on market conditions. The parcel is located inside the Urban Service Area (USA) and is zoned Single-and-Two Family Residential (R-3). The parcel has an Urban Residential 2 (UR-2) future land use designation, according to the Future Land Use Map of the Tallahassee-Leon County Comprehensive Plan. The development will access Blountstown Highway, a Principal Arterial Roadway. A Permitted Use Verification certificate (VC150155R) was issued as 'Eligible' for the development on January 13, 2016.

DEVELOPMENT SERVICES STAFF REVIEW:

Article VII. Subdivision and Site and Development Plan Regulations:

Site and Development Plan Criteria, Article VII, Section 10-7.407:

The Leon County Land Development Code requires that a site and development plan comply with three general standards those include:

1. Whether the applicable zoning standards and requirements have been met.
2. Whether the applicable provisions of the Environmental Management Act have been met.
3. Whether the requirements of Chapter 10 and other applicable regulations or ordinances which impose specific requirements on site and development plans and development have been met.

Division 1. Subdivision and Site and Development Plan Regulations

Compliance and Consistency with Comprehensive Plan (Sec. 10-7.108 and Sec. 10-7.109)

- (a) All proposed subdivisions or development shall be designed to be consistent with the adopted Comprehensive Plan, as amended.
- (b) All proposed subdivisions or development shall be designed to comply with at least the county zoning, building regulations, concurrency, and environmental management ordinances, and such other applicable land development regulations, ordinances, and policies, for the area in which the proposed subdivisions or development shall be located.
- (c) In accordance with this article and other applicable requirements of the local Comprehensive Plan and county ordinances, land, proposed subdivision or site and development plans shall be suitable for the characteristics of the underlying land. Sites where topographic features, flooding potential, drainage, soil type or other site specific features are likely to harm neighboring landowners, future users of the subject property, natural resources or public infrastructure demand, shall not be developed and/or subdivided, unless adequate methods of mitigation or correction of the harm area formulated by the developer and accepted by the county.
- (d) Any applicant subdividing land shall record an approved final plat in accordance with the requirements of this chapter.
- (e) The adequacy of necessary public or private facilities and services for traffic and pedestrian access and circulation, solid waste, waste water disposal, potable water supply, storm water management, parks and recreation and similar public facilities and services, shall be considered in the review of all subdivision or development site and development plan proposals to assure the concurrency requirements of the local Comprehensive Plan and county ordinances are met.
- (f) Unless installation of a required improvement is waived pursuant to Division 6, no final plat or certified survey shall be recorded until a site and development plan, as required by this article, has been approved, the required infrastructure or development improvements which are applicable to the subject parcel or parcels are completed or an appropriate surety instrument, as approved in advance by the County Attorney, is posted, in accordance with the requirements of this article, and the terms and conditions of any applicable development order have been fulfilled.
- (g) Where applicable, no parcel shall be approved for platting for any purpose unless it is suitable for a use permitted by Article VI. No parcel shall be approved for development unless it is consistent with the local Comprehensive Plan and contains an adequate development site, both in size for the use intended and in its relationship to abutting land uses.

DEVELOPMENT SERVICES STAFF FINDINGS:

COMPREHENSIVE PLAN

The subject site is located within an area designated (Policy 2.2.24) on the Future Land Use Map of the City of Tallahassee-Leon County Comprehensive Plan. According to Policy 2.2.24 of the Land Use Element, the major function of the Urban Residential 2 designation is to promote infill development, reducing urban sprawl, and maximizing the efficiency of infrastructure.

Finding #1: A Comprehensive Plan consistency determination shall be obtained from the Tallahassee-Leon County Planning Department. Please refer to the attached memorandum from the Tallahassee-Leon County Planning Department (Attachment #1).

ARTICLE III. CONCURRENCY

According to Section 10-3.105(a) of the LDC, no final development order can be issued until such time it is determined that there is sufficient available capacity of concurrency facilities to meet level of service standards for the existing population, vested development, and for the proposed development. All proposed development (except vested development) shall undergo a concurrency review. In the event the proposed development trips deficient segments of a roadway facility, for example, that applicant has the option of entering into a proportionate fair share agreement to mitigate associated impacts. Additional information on mitigation of impacts and the criteria established for mitigation is set forth in the Concurrency Policies and Procedures Manual.

Finding #2: An Application for Concurrency Review was submitted prior to site plan submittal and a Preliminary Certificate of Concurrency (LCM160001) has been issued for this project. A final certificate of concurrency will be issued upon site plan approval. Please contact Ryan Guffey, AICP, Concurrency Manager at 606-1386 with any questions related to concurrency management.

ARTICLE IV. ENVIRONMENTAL MANAGEMENT

The application must comply with the regulations and standards set out in the following sections of Article IV: [Topographic alterations (Section 10-4.327); Stormwater management facilities (Section 10-4.301); Protected Trees (Section 10-4.362); Tree Protection Requirements (Section 10-4.363); Pre-Development Reviews (Section 10-4.202); Natural Area Requirements (Section 10-4.345)].

Finding #3: A Natural Features Inventory (LEA150065) was approved with conditions on January 11, 2016. An Environmental Impact Analysis (EIA) (LEA160002) has been filed and is currently under review. An Environmental Management Permit (EMP) is required for this project prior to construction. EMP shall be completed and approved within 1 year of issuance of site plan approval.

Please refer to comments from the Environmental Services Division (Attachment #2) as they relate to the sections above and any other provisions set forth in Article IV of the Land Development Code. Please note, a markup layer has been added to ProjectDox addressing many of the comments outlined within the memorandum.

Single-and-Two Family Residential (R-3) Zoning District (Section 10-6.637, Land Development Code)
The R-3 district is intended to be located in areas designated Bradfordville Mixed Use, Urban Residential, Urban Residential 2, or Suburban on the Future Land Use Map which contain or are anticipated to contain a wide range of single-family and two-family housing types. The maximum gross density allowed for new residential development in the R-3 district is eight dwelling units per acre; a minimum density of four dwelling units per acre is required when applied to the Urban Residential future land use category.

Development Standards	Required	Provided
Front yard setback	20 feet	20 feet
Side interior yard setback	7.5 feet on each side; or any combination of setbacks that equals at least 15 feet, provided that no such setback shall be less than 5 feet	15 feet
Rear yard setback	25 feet	Not specified
Maximum Building Height	3 stories	height in feet not specified

Finding #4: The project appears to meet the applicable building setbacks, height and size requirements; however, please annotate the height of the building (in feet) in the site data table alongside the minimal requirements. Please clarify that the setbacks provided in the site data table are the perimeter setbacks for the development. The applicant will need to also provide the proposed setback between structures to ensure compliance with the Florida Building Code requirements.

General Layout and Design Standards (Section 10-7.502).

The proposed site plan shall comply with the general layout and design standards of this section. These design standards pertain to streets, driveways, lots and lot designs, stormwater management areas, pedestrian and bikeways and facilities, proposed utility locations including easements, public/private street designations, utility systems and protection of natural features. Within the urban services area, multifamily development shall be designed to require vehicular and pedestrian cross access to adjacent commercial, office, multifamily, recreation and community facility uses.

Finding #5: The development has additional means of ingress/egress along the western property line as per the easement recorded in OR Bk 2482, Pg 167. The development shall be designed to provide interconnection that extends to undeveloped or partially developed land that is adjacent to the development site. The proposed roadway interconnection stub-out in the parking lot shall be constructed to extend to the property line to provide for interconnection of future development.

General Principles of Design Relating to Impacts on Nearby Owners (Section 10-7.505)

Developments shall be designed to be as compatible as practical with nearby residences. The standards included in this section identify design approaches that can be incorporated to facilitate compatibility. Preferred design alternatives are listed at the end of this report.

Finding #6: Please provide a landscape sheet as part of the site plan set that meets the intent of this section by providing vegetative screens and buffers to parking and waste collection areas. Preservation of existing trees and vegetation should be retained in these areas.

Finding #7: It is recommended that the dumpster location be relocated to accommodate a more feasibly accessible location for future residents. Additionally, it is recommended that the applicant explore location options so not to aesthetically impair the entrance of the development.

Finding #8: A lighting plan for the development has not been provided. Please show the height, type and style of lighting being proposed for the development on a separate site plan sheet. Dark-sky friendly fixtures are preferred in which the source of illumination is concealed. General ground lighting such as spot or flood lights are discouraged.

Buffer Zone Standards (Section 10-7.522).

A buffer zone is a landscaped strip along parcel boundaries that serve a buffering and screening function between uses and zoning districts, provides an attractive boundary of the parcel or use. The width and degree of vegetation required depends on the nature of the adjoining uses. The buffer matrix in this section of the code is utilized to determine the type of buffer. A buffer fence shall be required in addition to minimum landscaping standards, when residential uses are adjacent to existing non-residential uses, in this case offices.

Finding #9: The proposed development has provided a 30-foot Type "D" Buffer along the western and eastern property lines adjacent to the existing single-family uses. The existing ingress/egress easement along the western property line seems to be in direct conflict with the proposed Type "D" buffer. As noted in finding #6, preservation of existing trees and vegetation should be retained in these areas and augmented where necessary. Please refer to additional comments from Environmental Services and Public Works.

Public Water Supply, Sanitary Sewer and Electrical Services (Sections 10-7.523 - 10-7.526).

The proposal is located within the City of Tallahassee utility area. The site plan indicates that electrical utilities will be underground and that design will be provided by the City of Tallahassee.

Finding #10: The applicant shall obtain approval of the proposed utility service plan from the City of Tallahassee. A copy of the approval must be on file with Development Services prior to site and development plan approval. Please refer to comments from City of Tallahassee Water Resource Engineering Division (Attachment #3).

Fire Protection Facilities (Section 10-527).

All development within the USA shall be required to provide fire protections by means of hydrant placement and fire flow in accordance with the requirements and specifications of the City of Tallahassee.

Finding #11: The applicant shall obtain approval of the proposed fire protection facilities from the City of Tallahassee Fire Department prior to site plan approval. Please refer to comments from Gary Donaldson of the City of Tallahassee Fire Department (Attachment #4).

General requirements for sidewalks with new development (Sections 10-7.529).

New development within the urban services area (USA) should be designed and constructed to implement a pedestrian mobility system that facilitates access to residential development, business establishments, community facilities and other non-residential land uses, and, provides safe and convenient linkage between developments and between the public and private street system.

Finding #12: Sheet 3.0 of the site plan shows a proposed 5 feet sidewalk along the southern portion of the subject property. The proposed sidewalk shall be designed to connect the existing sidewalk along Blountstown Highway.

Number of Off-Street Parking Spaces (Section 10-7.545) – Includes Schedule 6-2.

The number of off-street parking spaces required for single-family detached dwelling units is 1.5 spaces/ unit for single-family dwellings proposing 1, 2 and 3 bedrooms. Any deviation from the range of required parking established within Schedule 6-2 would require approval or approval with conditions by the parking standards committee.

Finding #13: The applicant has provided a parking standards request for 18 regular spaces and 2 ADA accessible spaces to be reviewed and approved by the Parking Standards Committee. The applicant has indicated that not all residents will have vehicles for personal use. Additionally, grass parking will be available located closer to the units, reducing the impervious footprint. The applicant shall receive an approved or approved with conditions parking standard request prior to site plan approval.

Finding #14: Please provide a traffic circulation plan for the site showing vehicular ingress/egress throughout the development. The legend provided on Sheet 3.0 of the site plan makes note of a symbol for proposed vehicular circulation, however, the symbols appear to be missing within the sheet.

Please refer to any additional comments from Public Works (Attachment #5).

Residential Signs [Section 10-9.201(14)].

Specific sign codes (i.e. size and height), are reviewed for compliance with Article XII (signs) at the time of permitting. However, to ensure adequate visibility for motorists, bicyclists and pedestrians, the location of the subdivision sign shall be included on the plan sheets. One permanent sign may be located per entrance and one per exit to a single-family residential development provided that the requirements of this section are met. The location of the signage does not exempt the signs from permitting. The physical location shown on the site plan is for location purposes only. The signs must meet the criteria established in Article IX, Section 10-9.201, and Leon County Land Development Code.

Finding #15: The applicant has not provided any information regarding the location of signage for the development. A sign location shall be specified on the site plan and shall not be placed in a location that shall obstruct vision at points of intersection. Please also note that off-site subdivision signs are not allowed.

Aquifer Protection (Article X, Div. 1)

This article is intended to protect and maintain the quality and quantity of groundwater in the county by providing criteria for regulating the use, handling, production, storage and disposal of regulated substances.

Finding #16: The project shall receive approval from the Aquifer Protection Division prior to site plan approval.

ARTICLE XI. UNIFORM STREET NAMING AND PROPERTY NUMBERING SYSTEM

This article is intended to provide for the assignment and approval of street names, subdivision names, and for providing for a uniform numbering system for the assignment of address numbers to properties in the interest of public health, safety and welfare.

Finding #17: The project shall receive approval from the Addressing Program Coordinator prior to site plan approval.

Type "A" Review (Section 10-7.403).

According to Section 10-7.402 of the LDC, the application qualifies for review as a Type "A" site and development plan. The applicant has chosen the Conceptual Plan Approval (CPA) Tract. A determination of completeness shall be made within 14 calendar days after receipt and shall specify any additional information and level of detail required in order to meet the requirements of this section.

Finding #18: The CPA review track option is intended to expedite the review process by reducing the requirement for permitting level information while providing the applicant the assurance that the development entitlements reflected on the concept plan can be realized on the subject site. The CPA review track shall include approval of an environmental impact analysis (EIA) in support of the proposed development project. An Environmental Management Permit (EMP) shall be completed and approved within 1 year of issuance of site plan approval.

Technical Site Plan Deficiencies [Section 10-7.402(8)(b)2].

Finding #19: Please make the requested revisions outlined in the Findings above and in the attached memorandums from other reviewing agency staff. Additionally, please review the site plan markups from reviewing staff on ProjectDox. Please contact the Project Manager if you need assistance viewing these markups.

Finding #20: Please revise the cover sheet (Sheet 1.0) to reflect the project number for this project (LSP160001).

Finding #21: Please revise the project name to read "Blountstown Highway Condominiums".

RESPONSES FROM ARM MAILOUT NOTIFICATION:

The application was advertised in the Tallahassee Democrat on Monday, January 18, 2016. Additionally, a total of 292 notices were distributed through regular mail to property owners within 600 feet and neighborhood and business associations (registered with County) within one mile of the proposal site. As of January 26, 2016 at 5:00 PM, thirteen (13) notices were returned as 'undeliverable'. Two calls were received from a property owner who inquired about the meeting to be held for this project.

ATTACHMENTS:

1. Tallahassee-Leon County Planning Department Memorandum from Susan Poplin, Senior Planner
2. Environmental Services Review Memorandum from Charley Schwartz, PE, Senior Environmental Engineer
3. City of Tallahassee Utilities Memorandum from Justin Hosey, Water Resource Engineering Division
4. Tallahassee Fire Department Memorandum from Gary Donaldson
5. Public Works Memorandum from Kimberly Wood, PE, Chief of Engineering Coordination



MEMORANDUM

Attachment # 1
Page 1 of 1

Submitted to ProjectDox on January 26, 2016

TO: Nancy Garcia, Leon County Development Support and Environmental Management
FROM: Susan Poplin, Senior Planner, Tallahassee-Leon County Planning Department
DATE: January 22, 2016
SUBJECT: Blountstown Highway Residential Condominium – Type A Site Plan Concept Plan Approval (CPA); Leon County Application Review Meeting January 27, 2016

APPLICANT: Floresta, LLC
AGENT: Tom O'Steen, Moore Bass Consultants, Inc. – 222-5678
PARCEL ID: 21-31-20-007-0030
ZONING: Single and Two-Family Residential (R-3)
FUTURE LAND USE: Urban Residential 2 (UR-2)

Findings

1. The proposed project is for the first phase of a residential condominium project on 33.52 acres approximately ½ mile west of the intersection of Capital Circle Northwest and Blountstown Highway. Phase I consists of 24 dwelling units to be development on 4.09 acres. The parcel total is 33.52 acres. The applicant indicates that the project will be served by central water and sewer from the City.
2. The proposed project is consistent with the density and intensity of the Urban Residential 2 Future Land Use Map Category of the *Tallahassee-Leon County Comprehensive Plan*.
3. The Mobility Element of the Tallahassee-Leon County Comprehensive Plan requires that development provide full accommodations of pedestrian access and movement, including sidewalks and enhanced crossings, [Mobility Element Policies 1.1.8(a-b), 1.2.3 and 1.4.3], and requires vehicular, pedestrian, and bicycle interconnections between adjacent, compatible development [Mobility Element Policies 1.4.1 and 1.4.3]. The application includes sidewalks within and connecting to the facilities along Blountstown Road. The application also includes a parking lot with a stub out to a buffer area. The potential interconnection must be extended to the property line to support and achieve the Mobility Element objective for interconnections.
4. The Conservation Element of the *Tallahassee-Leon County Comprehensive Plan* requires that wetlands and floodplains be regulated as conservation or preservation, and that wetland function be preserved [Conservation Policies 1.3.1, 1.3.2, 1.3.4, 1.3.6, 2.2.1 and 2.2.2 and Land Use Element Policy 2.2.26, Table 6]. The first phase of development does not contain areas of wetlands and floodplains, and thus no conservation areas on a site plan are proposed at this time. The application includes an environmental features impact map that shows the existing conservation easement on the property as well as the location of wetlands, floodplains and slopes.

Planning Department Recommendations

The Planning Department recommends proposed Type A site plan for Phase I of the Blountstown Highway residential condominium project (LSP160001) be approved subject to the condition that the proposed roadway interconnection stub-out in the parking lot be extended to the property line.

Leon County, Department of Development Support
& Environmental Management

MEMORANDUM

TO: Nancy Garcia
Development Services Planner II

FROM: Charley Schwartz *cms* Senior Environmental Engineer
Katy Collins
Environmental Review Specialist

DATE: January 25, 2016

RE: Proposed Residential Condominiums on Blountstown Highway
LSP160001 – Type "A" Concept Plan Approval Track
January 27, 2016 Application Review Meeting
Parcel ID: 21-31-20-007-0030

We have conducted a review of the referenced project for its consistency with stormwater, landscaping, and other environmental protection requirements found in Section 10 of the Leon County Land Development Code (LDC). Recommendations, comments, and information necessary for the review process include, but are not limited to, the subsequent. All other requirements of the code, although not mentioned hereon, are still applicable.

Environmental Review Processes Requirements:

- A Natural Features Inventory (NFI) was approved with condition(s) on January 11, 2016, reference LEA150065. The NFI approval condition requires any archaeological and historical sites identified on the property shall be protected in accordance with the recommendations of the Florida Department of State, Division of Historic Resources.
- An Environmental Impact Analysis (EIA) is required for the Concept Plan Approval Track. The EIA application (LEA160002) has been received but not approved. Comments within this Memorandum also apply to the EIA submittal unless otherwise noted. Any additional EIA comments will be provided to the applicant under separate cover.
- An Environmental Management Permit (EMP) is required for this project prior to construction.
- An As-Built and an Operating Permit are also required prior to final inspection.

Project construction cannot commence until an EMP is issued.

Recommendations, Comments, and Required Information:

A markup layer has been added to Projectdox addressing many of the comments outlined below.

1. Sheet 1.0: Cover Sheet – Add a Conceptual Landscape Sheet to the plans and identify the sheet location in the Sheet Index. See also "Conceptual Landscape Sheet" Comments provided below.
2. Sheet 2.0: Overall Existing Conditions Map – Address the following comments:
 - a. Ensure the items depicted are consistent with the approved NFI.
 - b. Label all existing conservation easements.
 - c. Add a complete legend (see approved NFI map).
3. Sheet 2.1: Project Area Existing Conditions Map – Identify any protected trees and existing improvements/features that might conflict with the proposed discharge pipe connection to the existing FDOT inlet structure.
4. Sheet 3.0: Geometry Plan – Address the following comments:
 - a. The minimum natural area requirement for the site is 25% (only 21% is proposed). Additional natural area shall be designated to meet the site minimum.
 - b. Provide a detail for the Type "D" Buffer Plantings (see also "Conceptual Landscape Sheet" Comments).
 - c. A minimum of four separate landscape islands shall be shown in the parking area each with a minimum area of 400 sf.

- d. Provide more information regarding land use and improvements within the residential unit area (ex. Max amount impervious, Max amount semi-pervious (ex. trails, LID parking, etc.), Min amount undisturbed woods, Min amount other landscaping) . Ensure all numbers identified are consistent within the plans and the supporting stormwater calculations.
 - e. Provide general placement guidance for utilities, units, pedestrian corridors and parking to ensure conflicts avoided/minimized and stormwater problems avoided.
5. Sheet 4.0: Grading Plan – Address the following comments:
- a. Identify side slopes of the stormwater pond. If slopes are steeper than 4:1 provide required fencing and fence screening.
 - b. All developed areas shall be routed to a SWMF. The north development area does not drain to the proposed SWMF. It appears additional access drive area near the connection with Public ROW can be captured and routed to the SWMF.
 - c. If parking is proposed for units in the Unit Area clarify how vehicles will access. Drainage swales are proposed between the road and Unit Area.
 - d. Identify the location of the emergency overflow weir and evaluate the flow path to the receiving water or drainage feature.
 - e. Suggestion: Suggest routing parking drainage to proposed swale to minimize potential erosion of northern slopes of pond.
6. Sheet 5.0: Environmental Features Impact Map – See Sheet 2.0 Comments.
7. Sheet 6.0: Concept Utility Plan – Ensure potential utility conflicts are evaluated.
8. Conceptual Landscape Plan – The additional sheet shall address the following comments:
- a. Provide a Minimum Planting Density Detail for the Type "D" Buffers. Add a note that existing healthy native vegetation shall be preserved and augmented as necessary to meet minimum planting density. Note that work within the critical root protection zone of existing trees to remain shall be conducted under the supervision of a certified arborist.
 - b. Identify areas that are tabulated as natural area (25% of site minimum) and landscape area.
 - c. Specify minimum requirements for proposed canopy coverage tree plantings (ex. canopy or understory trees, pavement setback, offset from underground utilities, etc.).
 - d. Add a note that additional landscape details to be provided in the EMP but shall meet minimum standards specified within the Site Plan / EIA.
 - e. Show that the project meets the tree mitigation requirements (ex. Credit/Debits or 40 trees per developed acre).
9. Conservation Easement – As part of the EMP, provide an executed conservation easement for the additional natural area and vegetation management plan for all natural areas.
10. Stormwater Analysis – Revisions to the Stormwater Analysis are necessary. Specific changes will be outlined in the EIA Notice of Application Deficiency letter to be provided under separate cover.

General Comments:

It should be noted that non-inclusion in this letter of a Leon County Land Development Regulation Requirement does not constitute exemption from compliance with the requirement.



City of Tallahassee

UNDERGROUND UTILITIES

"Setting the Standard for Excellence"

Attachment # 3
Page 1 of 1

MEMORANDUM

TO: Nancy Garcia, Planner, Leon County
FROM: Bruce Kessler, Water Resources Engineering
On behalf of Justin Hosey, P.E.
Development Review Manager
DATE: January 27, 2016
SUBJECT: **Proposed Residential Condominium Project (LSP160001)**

I. Project Description:

The proposed project is located on Blountstown Highway (31-31-20-007-0030). Phase I consists of 24 dwelling units to be developed on 4.09 acres.

II. Standards of Review:

1) Water Resources Engineering reviews utility concept plans for compliance with, *the Water and Sewer Agreement, The City of Tallahassee Design Specifications for Water and Sewer, Florida Department of Environmental Protection (FDEP) F.A.C. Section 62-555, The American Water Works Associations Manual of Practice "M31", FDEP F.A.C. Section 62-604, and FDEP MOP 9, as well as sound engineering practice.*

III. Findings of Fact:

- 1) Water and sewer are available to the site.
- 2) Connection to water and sewer is required.

IV. Condition of Approval:

- 1) Water Resources Engineering has reviewed the "Water and Sewer Concept Plan" and have issued comments to the engineering of record.
- 2) A "Letter of Agreement" will be required prior to construction.



TALLAHASSEE FIRE DEPARTMENT SITE PLAN REQUIREMENTS

Project Name: Residential Condominiums on Blountstown Hwy.
Parcel ID #: 21-31-20-007-0030
LSP 160001
AGENT: Moore Bass, Inc.
PLANNER: Nancy Garcia
MEETING DATE: January 27, 2016

The Required width of a fire department access road shall not be obstructed in any manner, including the parking of vehicles. *NFPA 1, 18.2.4.1.1, Fifth Edition of the Florida Fire Prevention Code*).

Listed below are the Tallahassee Fire Department's requirements concerning the above proposed development. The agent or owner prior to approval shall address the items listed below.

1. Must meet NFF (needed fire flow) as determined by AWWA Manual M31, using NFPA 1 Method. Please provide needed fire flow calculations to the Tallahassee Fire Department representative and to Water Utilities Engineering and Inspections at this time. Please use the Required Fire Flow Information form (NFPA 1, 18.4.1.1, Fifth Edition of the Florida Fire Prevention Code) to provide fire flow calculations. The Fire Flow form is located on the Growth Management Department page within the City of Tallahassee's web page (www.talgov.com) in the "Applications and Forms" section. If hydrants are existing the following is required. After the NFF is determined, the existing fire hydrant(s) shall be flowed to determine its GPM. If the GPM meets or exceeds the NFF, no additional hydrants are required. If it does not meet the NFF, additional hydrant(s) are required.
2. Every building constructed shall be accessible to fire department apparatus by way of access roadways with all-weather driving surface of not less than 20 feet of unobstructed width, with adequate roadway turning radius capable of supporting the imposed loads of fire apparatus (32 tons) and having a minimum clearance of 13 feet, 6 inches, angle of approach and departure not exceeding 1 ft. drop in 20 ft. (0.3 drop in 6 m.) or the design limitations of the Fire Department apparatus, subject to Fire Department approval. The site plans' Geometry Plan (Sheet 3.0) includes an area containing 24 residential units with no specific location and orientation of buildings. Final determination of any additional Fire Department access requirements cannot be established until the individual units are identified and located on the site plan.

Board of County Commissioners
Interoffice-Memorandum

Date: January 26, 2016

To: Nancy Garcia, Planner II

From: Kimberly A. Wood, P.E., Chief of Engineering Coordination

Subject: Proposed Residential Condominiums on Blountstown Highway - LSP1601

The information submitted for review is not sufficient for a thorough review at this time. The following comments are for the applicant's information and may be revised as more information becomes available.

1. Existing conditions sheets should clearly delineate the limits of the Conservation Easement.
2. The existing 15 foot ingress/egress utility easement appears to conflict with the proposed 50 foot buffer, how will the plantings be protected if utilization of the easement becomes necessary.
3. Any and all work proposed within FDOT right of way must receive conceptually approval from FDOT prior to conceptual siteplan approval. This also includes the proposed right of way to FDOT?
4. Plans must be revised to include dimensions of all proposed improvements, including but not limited to all sidewalks, bike spaces, etc.
5. Plans must identify what the proposed driving area is, driveway or private road? Typical sections of vehicular use area must be included in the plans.
6. Please provide justification for proposed right turn into development.
7. Please show locations and information on any proposed retaining walls.
8. The grading of the SWMF is encroaching into the proposed 50 foot buffer.

Exhibit 8a

Environmental Impact Analysis Application dated January 12, 2016

Development Support & Environmental Mgmt. 435 North Macomb Street Renaissance Center, 2 nd Floor Tallahassee, FL 32301 (850) 606-1300	
---	---

E - 2

Environmental Impact Analysis

Fee: \$1,356 base + \$24 an acre over 5 acres - with floodplain \$1,890 base +\$30 per acre over 5 acres.

Applicant Name: Moore Bass Consulting, Inc. (Tom O'Steen) Date: 1-12-16
 Project Name: Proposed Residential Condominiums on Blountstown Parcel No. 21-31-20-007-0030
 Location: 5044 Blountstown Hwy Acreage: 33.52 Floodplain: Yes No

- A. Provide a conceptual development plan showing all of the following items, if applicable:
 - The sq. ft. dedicated to landscape islands
 - 40% plan-view canopy coverage of paved parking areas
 - Preservation of at least 10% of pre-development vegetation
 - 20' wide front perimeter landscaping before vehicular use area
 - The sq. ft. of vehicular use area
 - Proposed Project limits
 - Existing & proposed wells
- Show any proposed impacts to Canopy Road Tree Protection Zones, and demonstrate compliance with Sections 10-4.363(f), and 10-4.206(b), and 10-6.707
- Show any special development zones and quantify impacts to those zones (See Sections 10-4.301 and 10-4.323).

Acres of Special Development Zone	Acres Proposed for Development	% of Spec. Development Zone Proposed for Development
Zone A	NA	
Zone B		

Best Management Practices must be shown on the site plan for all properties within Special Development Zones.

- B. Provide a narrative description of the following project features that apply:
 - Type of development and proposed changes to existing structures
 - Indicate whether there are any current environmental management permits on the site and how the proposed project relates to the existing permits.
 - Show compliance with Section 10-4.325 -Active Karst Feature
- C. Address wet season water table at pond location.
- D. Provide a 2-foot contour map on which is drawn the path of stormwater discharge traced from the site's stormwater facilities to the downstream receiving water body or watercourse of a capacity 40 times greater than the site's storage volume or discharge rate. These maps should be based on current Tallahassee/Leon County contour maps, available for inspection at City Growth and County Development Support & Environmental Management Offices. Maps are available for purchase from the Tallahassee-Leon County Geographic Information Services Department at 606-5500.
- E. The stormwater discharge shall not cause flooding or other adverse impacts for the downstream areas. If a site is greater than 2 acres and its discharge is greater than 2.5% of the flow in the conveyance structure at the discharge point for the critical storm, provide one of the following:

Conveyance Analysis. An analysis shall be completed to show that no adverse impacts occur downstream. The analysis shall include all storms up to and including the 25 year frequency. If there are flooding problems within the analysis area defined above, then an analysis of the storms up to and including the 100 year frequency may be required; or

~~NA~~ Restricted Discharge. The stormwater management facility shall be designed such that post development discharge is restricted to the critical duration two (2) year pre-development discharge rate for all duration and return frequencies up to and including the twenty-five (25) year, twenty-four (24) hour storm event. The total required detention volume shall again be available within ninety (90) hours following a rainfall event.

For some sites, if there is an immediate downstream flooding problem, then an analysis of the downstream impacts may be necessary regardless of the discharge flow rate or size of project. Flooding problems may require the extent of the analysis to be moved further downstream and/or a continuous analysis be performed based on actual rainfall data.

F. Provide calculations, topographic maps, and/or plans of record sufficient to demonstrate that anticipated rates of flow and volume increases can be handled downstream without causing adverse impacts to wetlands, water courses, waterbodies, and stormwater conveyances. Also, provide preliminary calculations to verify pond meets stormwater water quality and recovery requirements.

G. If a retention pond is proposed, provide the following information:
 Substantiate preliminary percolation rates.

~~NA~~ H. Verify all newly proposed lots have sufficient buildable area outside of environmental constraints and special development zone (SDZ) restrictions. Sufficient buildable area shall be considered ½ acre of contiguous area if the site has environmental constraints and/or SDZ restrictions, or the allowable zoning density if there are no site constraints.

I. Attach a separate sheet, at the same scale as the site plan, that shows the results of the approved Natural Features Inventory. Include graphic depictions and associated narrative of how impacts to sensitive environmental features have been avoided or offset, in accordance with the Table of Standards for the Protection of Natural Features (see Section 10-4.202(a)(2)c.). If any flood zone grade changes are proposed, show compliance with the restrictions in Section 10-4.327(3). For sites that include species of special concern, threatened species, or endangered species, include a habitat suitability assessment. Include a protection and management plan approved by Federal or State agencies of jurisdiction.

Natural Feature	Acreage	Proposed Mitigation
Significant Grades	6.00	NA
Severe Grades (regulated as signifi	0.55	NA
Wetlands	2.05	NA
Floodplains	3.86	NA

Development Support and Environmental Management • Leon County • Environmental Compliance Division

Exhibit 8b

Environmental Impact Analysis Narrative dated January 12, 2016



Land Use Planning • Engineering Design • Environmental Permitting • Landscape Architecture • Surveying

**Environmental Impact Analysis
for
Proposed Residential Condominiums on Blountstown Highway**

Tax ID No. 21-31-20-007-0030
MBC #554.096

January 12, 2016

GENERAL

The proposed site is a tract totaling 33.52+/- acres located on Blountstown Highway. The property lies in Section 31, Township 01 North, Range 01 West. The site is currently vacant and mostly wooded. The site is encumbered by an existing conservation easement, which is shown on the boundary survey. The easement is recorded in the public records of Leon County FL in Book 3847, page 1674. It is believed that the easement was recorded as part of the Star Pointe subdivision, which was never constructed. The exact purpose of the easement is not clear but it is presumed to be for slope preservation associated with a prior development plan.

Natural features as identified in the approved natural features inventory are described below. All of the regulated features lie within the northern portion of the project. The project area occurs on only the southernmost 4.09 acres of the site and as such, does not impact any of the regulated features.

Stormwater runoff from the project area will be collected in a series of swales and inlets and conveyed to a proposed stormwater management facility to be located adjacent to Blountstown Highway. See included stormwater analysis for additional information.

NATURAL FEATURES INVENTORY

Vegetative Communities

The site can be described using the Florida Land Use, Cover and Forms Classification System as Hardwood Forested Uplands - Mixed Hardwoods, FLUCCS Designation 1112:

This is a hardwood community in which no single species or species group appears to achieve a 66 percent dominance of the canopy. This class of hardwoods includes any combination of large and small hardwood tree species none of which can be identified as dominating the canopy. (FLUCCS)

Drainage Area

The site is located within the Gum Creek West Watershed, part of the Lake Munson Basin.

Waterbodies

The site does not contain any waterbodies.

EIA Narrative
Proposed Residential Condominium on Blountstown Highway
January 12, 2016
Page 2 of 2

Watercourses

There is a small area of watercourse located on the northwestern most portion of the property. The water course passes through a culvert beneath the railroad tracks on the north end of the site.

Wetlands

Wetlands were located on the northernmost portion of the project as delineated by Cardno in a report dated December 15, 2015, previously submitted with the NFI application (LEA150065).

Floodplain

The site contains 100 year floodplain associated with the wetlands on the northern part of the project. There is also an area of flood plain located near the eastern property line approximately midway along the length of the line. Flood plain is shown per FIRM 12073C 0278 F and 12073C 0286 F, dated: AUGUST 18, 2009.

Floodways

The site contains a floodway in the northwest corner of the property.

Grades/Slopes

Significant and severe slopes within 100 feet of wetlands and floodplain and slopes contiguous to that line are delineated on the NFI map. The majority of the slopes are significant. Severe slopes only exist in very small areas within the significant slopes. We request that these small pockets of severe slopes be regulated as significant.

Soils

The soil survey indicates that a majority the site consists of Lakeland Fine Sand (021)(hydrologic soil group A). The northern most section contains a pocket of Plummer Fine Sand Fine Sand (041) (hydrologic soil group B/D). This is graphically identified on the Natural Features Inventory map.

Karst Features

There are no known karst features on this site. We reviewed the online Tallahassee-Leon County GIS Natural Features Inventory Map for karst features. There were none indicated. In addition, field survey indicated a small depression near the middle of the site along the eastern edge. Ardaman and Associates were hired to explore the depression. They walked the entire depression and did not observe any holes in the ground or any other indication of active karst.

Wells/Groundwater

No wells or areas susceptible to groundwater are identified. If further detailed survey work provides evidence of these features, then appropriate measures will be taken.

Tree Tagging

All regulated on-site trees have been field located and are reflected on the Natural Features Inventory map.

Listed Species

To the best of our knowledge, there are no known habitats of endangered, threatened or species of special concern located on this site. Please see report from Cardno, dated December 15, 2015.

Special Development Area

The site does not contain any special development zones.

Cultural Resource Assessment

A cultural resource assessment has been provided.

Exhibit 8c

Proposed Conservation Easement

CONSERVATION EASEMENT

STATE OF FLORIDA:

COUNTY OF LEON:

THIS CONSERVATION EASEMENT is hereby made and entered into on this _____ day of _____, 2016, by _____ hereinafter referred to as the "Grantor," to LEON COUNTY, FLORIDA, a political subdivision of the State of Florida, whose mailing address is Board of County Commissioners, 301 South Monroe Street, Tallahassee, Florida 32301, hereinafter referred to as the "Grantee."

WITNESSETH:

For and in consideration of the mutual promises and other good and valuable consideration as set forth herein, the receipt and sufficiency of which is hereby acknowledged, the Grantor does hereby grant to the Grantee, its successors and assigns, a perpetual Conservation Easement in accordance with Section 704.06, Florida Statutes, over and across the real property more particularly described on Exhibit "A", which is attached hereto and expressly incorporated herein, on the terms and conditions hereinafter set forth:

The following activities are prohibited within this easement, pursuant to Section 704.06, Florida Statutes:

1. Construction or placing of buildings, roads, signs, billboards or other advertising, utilities, or other structures above or on the ground.
2. Dumping or placing of soil or other substance or material as landfill, or dumping or placing of trash, waste, or unsightly or offensive materials.
3. Removal or destruction of trees, shrubs, or other vegetation, except for invasive exotic vegetation.
4. Excavation, dredging, or removal of loam, peat, gravel, soil, rock, or other material substance in such matter as to affect the surface.
5. Surface use except for purposes that permit the land or water area to remain predominately in its natural condition.
6. Activities detrimental to drainage, flood control, water conservation, erosion control, soil conservation, or fish and wildlife conservation habitat preservation.
7. Acts or uses detrimental to such retention of land or water areas.
8. Acts or uses detrimental to the preservation of the structural integrity or physical appearance of sites or properties of historical, architectural, archeological, or cultural significance.

Removal or pruning of hazardous, diseased or insect infested trees may be permitted upon prior approval from the Leon County Department of Development Support and Environmental Management.

Notwithstanding the foregoing, the Grantor shall be permitted to perform the activities set forth in the *Residential Condominiums on Blountstown Highway Conservation Easement Management &*

Maintenance Plan, maintained in the records of Leon County Department of Development Support and Environmental Management, and as may be amended from time to time.

It is understood that the granting of this easement entitles the Grantee to enter the above-described land in a reasonable manner and at reasonable times to assure compliance with the conditions of this easement.

Grantor hereby fully warrants the title to said real property and will defend the same against the lawful claims of all persons whosoever claimed by, through or under it, that it has good rights and lawful authority to grant this easement and that the same is unencumbered. Where the context of this easement requires, allows or permits, the same shall include the successors or assigns of the parties.

The easement granted hereby shall run with the land and shall enure to the benefit of the Grantee and its successors and assigns.

IN WITNESS WHEREOF, Grantor has caused these covenants to be executed and its seal to be affixed hereto on the day and year first above written.

GRANTOR

(Name of Corporation Typewritten)

(Signature of Officer or Agent)

(Print Name and Title of Officer or Agent)

WITNESSES:

(Sign)

(Print Name)

(Sign)

(Print Name)

Exhibit 8d

Conservation Easement Management and Maintenance Plan

Residential Condominiums on Blountstown Highway
Conservation Easement Management & Maintenance Plan

Notice: This plan does not necessarily provide exemption from any other applicable local, state, or federal regulations.

A. The following activities are allowed within the conservation easement area:

1. Eradication of invasive and nuisance plant species through the application of herbicides or by physical removal of such plants. Physical removal of invasive or nuisance species must be done with hand tools unless otherwise approved by Leon County Department of Development Support and Environmental Management, Division of Environmental Services. Disturbed soil areas must be mulched. Herbicides must be applied in accordance with the manufacturer's labeling. At a minimum, invasive species that are identified on the Leon County's List of Invasive Exotic Plants (see attached list) must be controlled. Other nuisance native species that may be controlled include grapevine (*Vitis* spp.), catbriar (*Smilax* spp.), and poison ivy (*Toxicodendron* spp.). Other nuisance species listed by private, state, or federal entities may also be removed after approval from Leon County Department of Development Support and Environmental Management, Division of Environmental Services, or its successor.
2. Any other activities specifically authorized by an Environmental Management Permit issued by the Leon County Department of Development Support and Environmental Management, Division of Environmental Services, or its successor.
3. Limited clearing and pruning of vegetation necessary to establish nature trails or pedestrian pathways used for passive recreation purposes. The location of these trails or pathways must be located so as to avoid impacts to native trees and other desirable native vegetation to the greatest extent practicable. Location and design of trails must be approved by Leon County Department of Development Support and Environmental Management, Division of Environmental Services, or its successor.
4. Maintenance activities necessary to properly maintain the nature trails or pedestrian pathways.
5. Removal or pruning of hazardous, diseased or insect infested trees may be permitted upon prior approval from the Leon County Department of Development Support and Environmental Management, Division of Environmental Services, or its successor. However, if the tree(s) presents an imminent danger, it may be removed immediately. Photos should be taken to document the condition of the tree prior to removal.
6. Planting of native species that are adapted to local site conditions. Any proposed planting of additional vegetation shall first be submitted to the Leon County Department of Development Support and Environmental Management, Division of Environmental Services, or its successor, for review and approval.

B. General Maintenance of the Conservation Easement Area:

Efforts shall be made to maintain and manage the conservation Easement area such that the average percent cover accounted for by invasive plant species does not exceed 1% (one percent). Immediately following a maintenance event, the average percent cover by invasive and nuisance plant species should be as close to 0 percent as possible.

Exhibit 8e

Stormwater Analysis dated January 12, 2015

Proposed Residential Condominiums on Blountstown Highway

Environmental Impact Analysis Stormwater Analysis

Date: January 12, 2016

Ben B. Hood, P.E. #69167



805 North Gadsden Street - Tallahassee, Florida 32303 - (850) 222-5678
MBC Job No. 14-027 Contract No. 554.070

Table of Contents

- 1) Narrative
- 2) Basin Curve Number and Time of Concentration Calculations
- 3) SWMF Treatment Calculations
- 4) Model Results Summary
- 5) ICPR Stormwater Model
- 6) Geotechnical Report
- 7) Drainage Basin Maps

1. Narrative

PROPOSED RESIDENTIAL CONDOMINIUMS ON BLOUNTSTOWN HIGHWAY

STORMWATER NARRATIVE

MBC Project No. 554.096
January 12, 2016

GENERAL

The subject site is located on the north side of Blountstown Highway approximately 2,700 feet west of Capital Circle. The proposed project is 24 unit residential condominium. The subject site is 33.52 acres. However, the "project area" occurs only on the southernmost portion of the project adjacent to Blountstown Highway and is 4.09 acres.

Stormwater:

The site is located within the Gum Creek West Watershed, part of the Lake Munson Basin. The site is generally wooded with the dominate soil type Lakeland Fine Sand (021)(hydrologic soil group A). The northern most section contains a pocket of Plummer Fine Sand Fine Sand (041) (hydrologic soil group B/D).

In the pre-development condition the site can be divided into five sub-basins, as depicted on the pre-development drainage map. However, because the project is limited to only the southern 4 acres of the site, only two of the basins are impacted. Basin "Pre Hwy 20" is the southernmost portion of the site which drains generally to an existing inlet located within the northern FDOT right of way of Blountstown Highway, just east of the site. Basin "Pre East Lake" drains to a pond offsite on the adjacent property to the east.

In the post development condition, runoff from the project area will be collected in a series of swales and inlets and conveyed to a proposed stormwater management facility to be located adjacent to Blountstown Highway. The proposed pond is a dry retention facility with the capacity to treat runoff in accordance with Leon County regulations (75% of runoff from the first 3.0 inches of rainfall). Leon County Code requires that treatment volume of on-line dry retention systems to be recovered within 72 hours. Volume recovery will be through natural percolation. A double ring infiltrometer test performed by Ardaman and Associates yielded an infiltration rate of 6.5 inched per hour. *A design rate of 6.5 feet per day (factor of safety of 2) was used in the stormwater mode allowing the pond to recover its entire volume well within the allowed time frame.* It should be noted based on the sandy nature of the site (see included geotechnical report), that the facility is almost full retention. In fact, only the 25 year, 8 and 24 hour and the 100 year, 4, 8 and 24 hour storms provide

Bannerman Commercial South Side SWMF
MBC #554.070

any discharge at all. Even in these cases, the discharge is very small. To accommodate these events, the facility will be equipped with a control structure that will connect to the drainage system within Blountstown Highway, ultimately tying to the existing inlet east of the site. ICPR modeling indicates that pre versus post rate attenuation is provided for critical duration storms up to and including the 100 year events while maintaining a minimum of 1 foot of free board.

The facility is sized to provide capacity for all currently proposed impervious areas as well as 0.15 acres of future impervious area associated with an anticipated 5,000 sf community center (not part of this application).

CONCLUSION

The calculations indicate that water quality treatment in accordance with Leon County and NFWMD standards is being provided for both the project area. The ICPR modeling results. Soil infiltration rates as determined by testing by Ardaman and Associates indicates that the facility will recover it's volume as required by code. Therefore, there will be no adverse impacts on the downstream conveyances and the site complies with the requirements of Leon County and the Northwest Florida Water Management District.

2. Basin Curve Number and Time of Concentration Calculations



Project: Blountstown Condo
MBC Job Number 554.096
Compiled By: BH

Created 1/12/2006
Revised

Basin Pre HWY 20 - Calculate Weighted Curve Number					
Soil Types	Land Type		Acres +/-	Cn	Ac * Cn
Type A Soils	Woods (Fair)		2.76	35	97
Varies	Paved parking lots, roofs, driveways, etc		0.00	98	0
Total Ac / Weighted Cn			2.76		97.0

Calculate Time of Concentration

Segment A - Sheet Flow: Overland

Surface Description	Woods
Manning's n (Table T-1 FDOT Hydrology Handbook)	0.45
Flow length (L) (total <= 100')	100 LF
Two-Yr 24-Hr Rainfall, P2 (NWFWM Handbook Fig 2.7-1)	4.9 Inches
Land Slope, (s)	0.020 Ft / Ft
Tc segment T1 = ((0.007 * (n * L) ^{0.8}) / ((P2 ^{0.5} * (s ^{0.4})))) * 60	13 Min

Segment B - Shallow Concentrated Flow

Surface Description (Paved or Unpaved)	Unpaved
Flow Length, L	430 LF
Watercourse Slope, s	0.028 Ft / Ft
Average Velocity, V (from Figure 3-1 TR-55)	2.70 Ft / s
Tc segment T2 = L / (60 * V)	3 Min
Tc Total (Min. 10 minutes) =	22 Min

Basin Pre East Lake - Calculate Weighted Curve Number					
Soil Types	Land Type		Acres +/-	Cn	Ac * Cn
Type A Soils	Woods (Fair)		9.87	35	345
Varies	Paved parking lots, roofs, driveways, etc		0.00	98	0
Total Ac / Weighted Cn			9.87		345.0

Calculate Time of Concentration

Segment A - Sheet Flow: Overland

Surface Description	Woods
Manning's n (Table T-1 FDOT Hydrology Handbook)	0.45
Flow length (L) (total <= 100')	100 LF
Two-Yr 24-Hr Rainfall, P2 (NWFWM Handbook Fig 2.7-1)	4.9 Inches
Land Slope, (s)	0.055 Ft / Ft
Tc segment T1 = ((0.007 * (n * L) ^{0.8}) / ((P2 ^{0.5} * (s ^{0.4})))) * 60	13 Min

Segment B - Shallow Concentrated Flow

Surface Description (Paved or Unpaved)	Unpaved
Flow Length, L	465 LF
Watercourse Slope, s	0.064 Ft / Ft
Average Velocity, V (from Figure 3-1 TR-55)	4.10 Ft / s
Tc segment T2 = L / (60 * V)	2 Min
Tc Total (Min. 10 minutes) =	15 Min



Project: Blountstown Condo
MBC Job Number: 554.096
Compiled By: BH

Created: 1/12/2006
Revised:

Basin Pre Depression - Calculate Weighted Curve Number					
Soil Types	Land Type	Acres +/-	Cn	Ac * Cn	
Type A Soils	Woods (Fair)	6.35	38	243	
Vanes	Paved parking lots, roofs, driveways, etc	0.00	38	0	
Total Ac / Weighted Cn		6.35		38.0	

Calculate Time of Concentration	
Segment A - Sheet Flow: Overland	
Surface Description	Woods
Manning's n (Table T-1 FDOT Hydrology Handbook)	0.45
Flow length (L) (total <= 100')	100 LF
Two-Yr 24-Hr Rainfall, P2 (NWFWM Handbook Fig. 2.7.1)	4.8 Inches
Land Slope, (s)	0.050 Ft / Ft
Tc segment T1 = ((0.007 * (n * L)^0.8) / ((P2^0.5) * (s^0.4))) * 60	13 Min
Segment B - Shallow Concentrated Flow	
Surface Description (Paved or Unpaved)	Unpaved
Flow Length, L	515 LF
Watercourse Slope, s	0.095 Ft / Ft
Average Velocity, V (from Figure 3-1 TR-55)	5.00 Ft / s
Tc segment T2 = L / (60 * V)	2 Min
Tc Total (Min. 10 minutes) =	15 Min

Basin Pre East - Calculate Weighted Curve Number					
Soil Types	Land Type	Acres +/-	Cn	Ac * Cn	
Type A Soils	Woods (Fair)	2.63	38	100	
Vanes	Paved parking lots, roofs, driveways, etc	0.00	38	0	
Total Ac / Weighted Cn		2.63		38.0	

Calculate Time of Concentration	
Segment A - Sheet Flow: Overland	
Surface Description	Woods
Manning's n (Table T-1 FDOT Hydrology Handbook)	0.45
Flow length (L) (total <= 100')	100 LF
Two-Yr 24-Hr Rainfall, P2 (NWFWM Handbook Fig. 2.7.1)	4.8 Inches
Land Slope, (s)	0.060 Ft / Ft
Tc segment T1 = ((0.007 * (n * L)^0.8) / ((P2^0.5) * (s^0.4))) * 60	12 Min
Segment B - Shallow Concentrated Flow	
Surface Description (Paved or Unpaved)	Unpaved
Flow Length, L	163 LF
Watercourse Slope, s	0.127 Ft / Ft
Average Velocity, V (from Figure 3-1 TR-55)	5.00 Ft / s
Tc segment T2 = L / (60 * V)	0 Min
Tc Total (Min. 10 minutes) =	12 Min

Basin Pre RailRoad - Calculate Weighted Curve Number					
Soil Types	Land Type	Acres +/-	Cn	Ac * Cn	
Type A Soils	Woods (Fair)	9.75	38	371	
Type A Soils	Wetland Marsh	2.05	38	78	
Vanes	Paved parking lots, roofs, driveways, etc	0.00	38	0	
Total Ac / Weighted Cn		11.80		449	

Calculate Time of Concentration	
Segment A - Sheet Flow: Overland	
Surface Description	Woods
Manning's n (Table T-1 FDOT Hydrology Handbook)	0.45
Flow length (L) (total <= 100')	100 LF
Two-Yr 24-Hr Rainfall, P2 (NWFWM Handbook Fig. 2.7.1)	4.8 Inches
Land Slope, (s)	0.060 Ft / Ft
Tc segment T1 = ((0.007 * (n * L)^0.8) / ((P2^0.5) * (s^0.4))) * 60	12 Min
Segment B - Shallow Concentrated Flow	
Surface Description (Paved or Unpaved)	Unpaved
Flow Length, L	554 LF
Watercourse Slope, s	0.054 Ft / Ft
Average Velocity, V (from Figure 3-1 TR-55)	3.77 Ft / s
Tc segment T2 = L / (60 * V)	2 Min
Tc Total (Min. 10 minutes) =	14 Min



Project **Blountstown Condo**
MBC Job Number: **654.096**
Compiled By: **BH**

Created: **1/12/2016**
Revised:

Basin Post SWMF #1 - Calculate Weighted Curve Number				
Soil Types	Land Type	Acres +/-	Cn	Ac * Cn
Type A Soils	Open Space	0.92	39	36
Type A Soils	Woods (Fair)	0.92	38	33
Varies	Paved parking lots, roofs, driveways, etc.	0.47	93	46
Varies	Residential Building (24 units @ 375 sf each)	0.20	98	20
Varies	Misc. Imperv Allowance for Future Projects	0.15	98	15
Varies	SWMF, Water	0.11	100	11
Total Ac / Weighted Cn		2.75		58.0

Basin Post Hwy 20 - Calculate Weighted Curve Number				
Soil Types	Land Type	Acres +/-	Cn	Ac * Cn
Type A Soils	Woods (Fair)	1.08	39	35
Varies	Paved parking lots, roofs, driveways, etc.	0.00	93	0
Total Ac / Weighted Cn		1.08		35.0

Basin Post East Lake - Calculate Weighted Curve Number				
Soil Types	Land Type	Acres +/-	Cn	Ac * Cn
Type A Soils	Woods (Fair)	8.74	36	315
Varies	Paved parking lots, roofs, driveways, etc.	0.07	93	7
Total Ac / Weighted Cn		8.81		36.3

Calculate Time of Concentration	
Segment A - Sheet Flow: Overland	
Surface Description	Woods
Manning's n (Table T-1 FDOT Hydrology Handbook)	0.45
Flow length (L) (total <= 100')	100 LF
Two-Yr 24-Hr Rainfall, P2 (NFWMD Handbook Fig. 2.7-1)	4.8 Inches
Land Slope, (s)	0.055 Ft / Ft
Tc segment Tt = ((0.007 x (n x L)^0.8) / ((P2^0.5) x (s^0.4))) * 60	13 Min.
Segment B - Shallow Concentrated Flow	
Surface Description (Paved or Unpaved)	Unpaved
Flow Length, L	465 LF
Watercourse Slope, s	0.064 Ft / Ft
Average Velocity, V (from Figure 3-1 TR-55)	4.10 Ft / s
Tc segment Tt = L / (60 * V)	2 Min.
Tc Total (Min. 10 minutes) =	15 Min.

3. SWMF Calculations

Moore Bass Consulting

Project: **Blountstown Condo**
MBC Job Number: **554.096**
Compiled By: **BH**
SWMF #1

Created: **1/12/2016**
Revised:
Revised:

Stage-Storage Table

Stage (feet)	Area (sf)	Area (ac)	Inc. Vol. (cf)	Sum Vol. (cf)
77	2300	0.053	0	0
78	3131	0.072	2716	2716
79	4089	0.094	3610	6326
80	5190	0.119	4640	10965
81	6458	0.148	5824	16789
82	8153	0.187	7306	24095
83	10248	0.235	9201	33295

Treatment Volume - On-line Retention

Basin Data	
Basin Area =	2.76 Ac
Impervious Area =	0.89 Ac
Pervious Area =	1.87 Ac
Runoff Coeff. (imperv. C=0.95, perv. C = 0.20)	0.443
Treatment Volume Calculation - Leon County	
Required Treatment (75% of 3" rainfall) =	2.25 in
Required Treatment Volume =	9978 cf
Treatment Elevation =	80.01

4. Model Results Summary



C O N S U L T I N G

Project: Blountstown Condo
MBC Job Number: 554.096
Compiled By: BH

Date: 1/12/2016
Rev:

Pre & Post Development Comparison - Highway 20

Using ICPR3 to compute runoff flow rates.

SIMULATION	PRE FLOW (cfs)	POST FLOW (cfs)	PRE-POST DIFF (cfs)	STAGE	SWMF #1 FREEBOARD 83
002yr-001hr	0.00	0.00	0.00	77.15	5.85
002yr-002hr	0.00	0.00	0.00	77.52	5.48
002yr-004hr	0.00	0.00	0.00	77.92	5.08
002yr-008hr	0.03	0.01	(0.02)	78.24	4.76
002yr-024hr	0.04	0.01	(0.02)	77.63	5.37
005yr-001hr	0.00	0.00	0.00	77.55	5.45
005yr-002hr	0.00	0.00	0.00	78.16	4.84
005yr-004hr	0.11	0.04	(0.07)	78.90	4.10
005yr-008hr	0.24	0.09	(0.15)	79.70	3.30
005yr-024hr	0.14	0.06	(0.09)	79.65	3.35
010yr-001hr	0.00	0.00	0.00	77.95	5.06
010yr-002hr	0.07	0.03	(0.04)	78.71	4.29
010yr-004hr	0.32	0.12	(0.19)	79.56	3.44
010yr-008hr	0.42	0.16	(0.26)	80.45	2.56
010yr-024hr	0.23	0.09	(0.14)	80.79	2.21
025yr-001hr	0.01	0.00	(0.01)	78.48	4.52
025yr-002hr	0.21	0.08	(0.13)	79.37	3.63
025yr-004hr	0.70	0.27	(0.43)	80.49	2.51
025yr-008hr	0.87	0.34	(0.54)	81.41	1.60
025yr-024hr	0.33	0.32	(0.01)	81.42	1.58
100yr-001hr	0.27	0.11	(0.17)	79.24	3.76
100yr-002hr	0.62	0.24	(0.38)	80.52	2.48
100yr-004hr	1.37	0.68	(0.68)	81.58	1.42
100yr-008hr	1.83	1.23	(0.60)	81.99	1.01
100yr-024hr	0.63	0.90	0.27	81.91	1.09
SCS-002yr-024hr	0.03	0.01	(0.02)	78.23	4.77
SCS-025yr-024hr	1.60	0.61	(0.98)	81.46	1.54

Min. Freeboard Provided = 1.01



C O N S U L T I N G

Project: Blountstown Condo
MBC Job Number: 554.096
Compiled By: BH

Date: 1/12/2016
Rev:

Pre & Post Development Comparison -East Lake

Using ICPR3 to compute runoff flow rates.

SIMULATION	PRE FLOW (cfs)	POST FLOW (cfs)	PRE-POST DIFF (cfs)		
002yr-001hr	0.00	0.00	0.00		
002yr-002hr	0.00	0.00	0.00		
002yr-004hr	0.00	0.00	0.00		
002yr-008hr	0.11	0.11	0.01		
002yr-024hr	0.14	0.13	(0.00)		
005yr-001hr	0.00	0.00	0.00		
005yr-002hr	0.01	0.03	0.02		
005yr-004hr	0.47	0.51	0.04		
005yr-008hr	0.92	0.90	(0.03)		
005yr-024hr	0.52	0.49	(0.03)		
010yr-001hr	0.00	0.00	0.00		
010yr-002hr	0.26	0.28	0.02		
010yr-004hr	1.26	1.24	(0.02)		
010yr-008hr	1.56	1.47	(0.08)		
010yr-024hr	0.83	0.76	(0.06)		
025yr-001hr	0.04	0.08	0.05		
025yr-002hr	0.79	0.79	(0.00)		
025yr-004hr	2.66	2.52	(0.14)		
025yr-008hr	3.61	3.47	(0.14)		
025yr-024hr	1.19	1.11	(0.08)		
100yr-001hr	1.30	1.37	0.08		
100yr-002hr	2.27	2.25	(0.03)		
100yr-004hr	5.06	4.71	(0.35)		
100yr-008hr	7.29	6.82	(0.47)		
100yr-024hr	2.28	2.09	(0.19)		
SCS-002yr-024hr	0.10	0.10	0.00		
SCS-025yr-024hr	6.99	6.66	(0.33)		

5. ICPR Stormwater Model

Blountstown Condo

Nodes

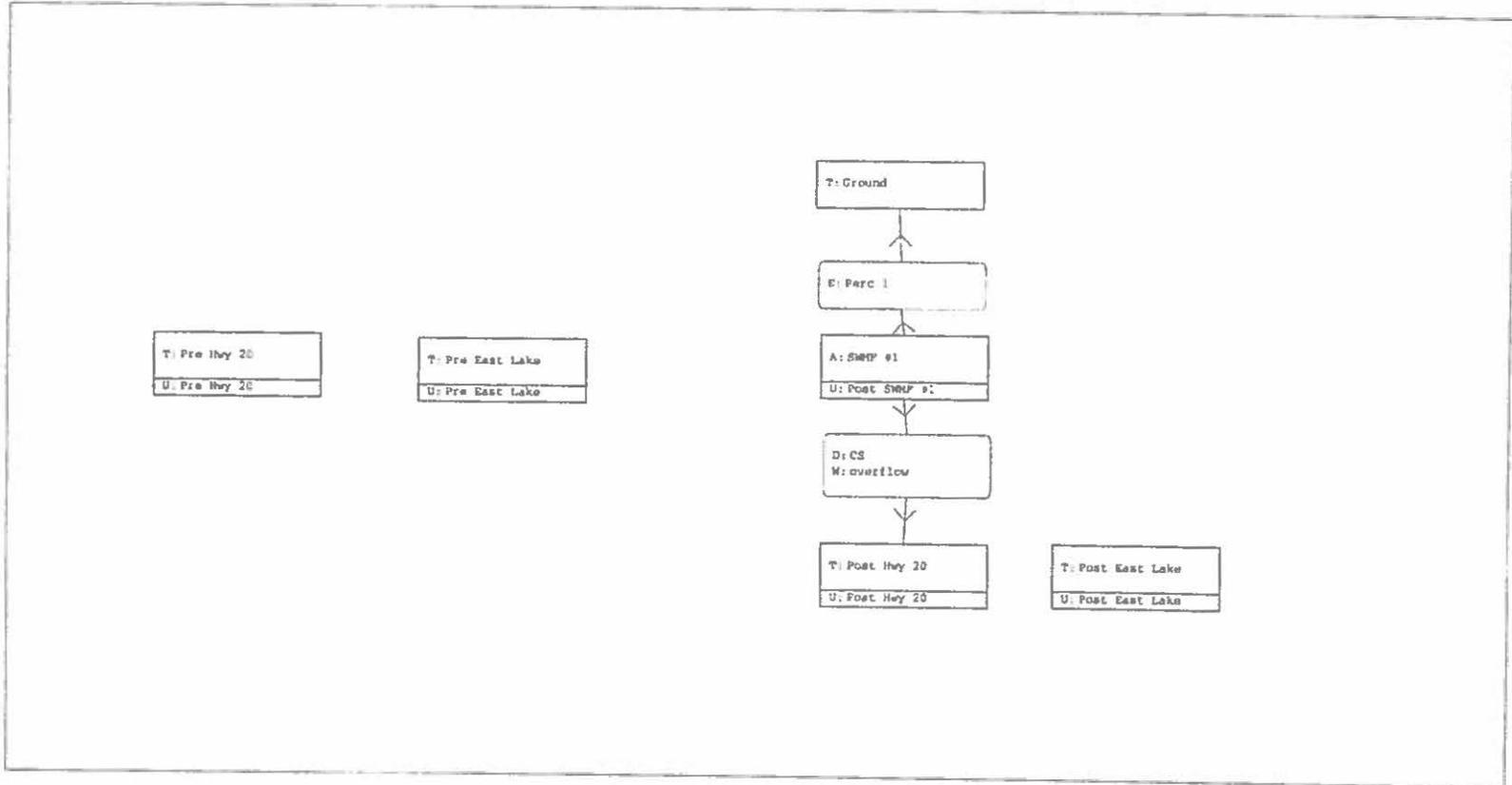
- A Stage/Area
- V Stage/Volume
- T Time/Stage
- M Manhole

Basins

- O Overland Flow
- U SCS Unit CN
- S SBUH CN
- Y SCS Unit GA
- Z SBUH GA

Links

- P Pipe
- W Weir
- C Channel
- D Drop Structure
- B Bridge
- R Rating Curve
- H Breach
- E Percolation
- F Filter
- X Exfil Trench



Date: 01/12/16
Node Diagram

Blountstown Condo

=====
Basing =====
=====

Name: Post East Lake Node: Post East Lake Status: Onsite
Group: BASE Type: SCS Unit Hydrograph CN

Unit Hydrograph: Uh484 Peaking Factor: 484.0
Rainfall File: Storm Duration(hrs): 0.00
Rainfall Amount(in): 0.000 Time of Conc(min): 15.00
Area(ac): 8.810 Time Shift(hrs): 0.00
Curve Number: 36.50 Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00

Name: Post Hwy 20 Node: Post Hwy 20 Status: Onsite
Group: BASE Type: SCS Unit Hydrograph CN

Unit Hydrograph: Uh484 Peaking Factor: 484.0
Rainfall File: Storm Duration(hrs): 0.00
Rainfall Amount(in): 0.000 Time of Conc(min): 22.00
Area(ac): 1.060 Time Shift(hrs): 0.00
Curve Number: 36.00 Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00

Name: Post SWMF #1 Node: SWMF #1 Status: Onsite
Group: BASE Type: SCS Unit Hydrograph CN

Unit Hydrograph: Uh484 Peaking Factor: 484.0
Rainfall File: Storm Duration(hrs): 0.00
Rainfall Amount(in): 0.000 Time of Conc(min): 10.00
Area(ac): 2.760 Time Shift(hrs): 0.00
Curve Number: 58.00 Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00

Name: Pre East Lake Node: Pre East Lake Status: Onsite
Group: BASE Type: SCS Unit Hydrograph CN

Unit Hydrograph: Uh484 Peaking Factor: 484.0
Rainfall File: Storm Duration(hrs): 0.00
Rainfall Amount(in): 0.000 Time of Conc(min): 15.00
Area(ac): 9.870 Time Shift(hrs): 0.00
Curve Number: 36.00 Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00

Name: Pre Hwy 20 Node: Pre Hwy 20 Status: Onsite
Group: BASE Type: SCS Unit Hydrograph CN

Unit Hydrograph: Uh484 Peaking Factor: 484.0
Rainfall File: Storm Duration(hrs): 0.00
Rainfall Amount(in): 0.000 Time of Conc(min): 22.00
Area(ac): 2.760 Time Shift(hrs): 0.00
Curve Number: 36.00 Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00

=====
Nodes =====
=====

Name: Ground Base Flow(cfs): 0.000 Init Stage(ft): 0.000
Group: BASE Warn Stage(ft): 0.000
Type: Time/Stage

Time(hrs)	Stage(ft)
0.00	0.000
9999999.00	0.000

Date: 01/12/16
Input Data

Blountstown Condo

Suction Head(in): 4.000
Layer Thickness(ft): 18.000

Num Cells 2 to 3: 45

Conductivity based on Ardaman DRI of 6.5"/hr (13 ft/day) w/ FS of 2

=====
=== Hydrology Simulations ===
=====

Name: 002yr-001hr
Filename: C:\Projects\2yr-1hr.R32

Override Defaults: Yes
Storm Duration(hrs): 1.00
Rainfall File: Fdot-1
Rainfall Amount(in): 2.30

Time(hrs)	Print Inc(min)
2.000	2.00

Name: 002yr-002hr
Filename: C:\Projects\2yr-2hr.R32

Override Defaults: Yes
Storm Duration(hrs): 2.00
Rainfall File: Fdot-2
Rainfall Amount(in): 3.00

Time(hrs)	Print Inc(min)
3.000	2.00

Name: 002yr-004hr
Filename: C:\Projects\2yr-4hr.R32

Override Defaults: Yes
Storm Duration(hrs): 4.00
Rainfall File: Fdot-4
Rainfall Amount(in): 3.50

Time(hrs)	Print Inc(min)
5.000	2.00

Name: 002yr-008hr
Filename: C:\Projects\2yr-8hr.R32

Override Defaults: Yes
Storm Duration(hrs): 8.00
Rainfall File: Fdot-8
Rainfall Amount(in): 4.20

Time(hrs)	Print Inc(min)
9.000	2.00

Name: 002yr-024hr
Filename: C:\Projects\2yr-24hr.R32

Override Defaults: Yes
Storm Duration(hrs): 24.00
Rainfall File: Fdot-24
Rainfall Amount(in): 4.70

Time(hrs)	Print Inc(min)
25.000	2.00

Name: 005yr-001hr
Filename: C:\Projects\5yr-1hr.R32

Override Defaults: Yes
Storm Duration(hrs): 1.00
Rainfall File: Fdot-1
Rainfall Amount(in): 2.80

Time(hrs)	Print Inc(min)
-----------	----------------

Date: 01/12/16
Input Data

Blountstown Cendo

2.000 2.00

Name: 005yr-002hr
Filename: C:\Projects\5yr-2hr.R32

Override Defaults: Yes
Storm Duration(hrs): 2.00
Rainfall File: Fdot-2
Rainfall Amount(in): 3.60

Time(hrs) Print Inc(min)

3.000 2.00

Name: 005yr-004hr
Filename: C:\Projects\5yr-4hr.R32

Override Defaults: Yes
Storm Duration(hrs): 4.00
Rainfall File: Fdot-4
Rainfall Amount(in): 4.40

Time(hrs) Print Inc(min)

5.000 2.00

Name: 005yr-008hr
Filename: C:\Projects\5yr-8hr.R32

Override Defaults: Yes
Storm Duration(hrs): 8.00
Rainfall File: Fdot-8
Rainfall Amount(in): 5.50

Time(hrs) Print Inc(min)

9.000 2.00

Name: 005yr-024hr
Filename: C:\Projects\5yr-24hr.R32

Override Defaults: Yes
Storm Duration(hrs): 24.00
Rainfall File: Fdot-24
Rainfall Amount(in): 6.40

Time(hrs) Print Inc(min)

25.000 2.00

Name: 010yr-001hr
Filename: C:\Projects\10yr-1hr.R32

Override Defaults: Yes
Storm Duration(hrs): 1.00
Rainfall File: Fdot-1
Rainfall Amount(in): 3.20

Time(hrs) Print Inc(min)

2.000 2.00

Name: 010yr-002hr
Filename: C:\Projects\10yr-2hr.R32

Override Defaults: Yes
Storm Duration(hrs): 2.00
Rainfall File: Fdot-2
Rainfall Amount(in): 4.10

Time(hrs) Print Inc(min)

3.000 2.00

Name: 010yr-004hr
Filename: C:\Projects\10yr-4hr.R32

Date: 01/12/16
Input Data

Blountstown Condo

Override Defaults: Yes
Storm Duration(hrs): 4.00
Rainfall File: Fdot-4
Rainfall Amount(in): 5.00

Time(hrs)	Print Inc(min)
5.000	2.00

Name: 010yr-008hr
Filename: C:\Projects\10yr-8hr.R32

Override Defaults: Yes
Storm Duration(hrs): 8.00
Rainfall File: Fdot-8
Rainfall Amount(in): 6.20

Time(hrs)	Print Inc(min)
9.000	2.00

Name: 010yr-024hr
Filename: C:\Projects\10yr-24hr.R32

Override Defaults: Yes
Storm Duration(hrs): 24.00
Rainfall File: Fdot-24
Rainfall Amount(in): 7.50

Time(hrs)	Print Inc(min)
25.000	2.00

Name: 025yr-001hr
Filename: C:\Projects\25yr-1hr.R32

Override Defaults: Yes
Storm Duration(hrs): 1.00
Rainfall File: Fdot-1
Rainfall Amount(in): 3.70

Time(hrs)	Print Inc(min)
2.000	2.00

Name: 025yr-002hr
Filename: C:\Projects\25yr-2hr.R32

Override Defaults: Yes
Storm Duration(hrs): 2.00
Rainfall File: Fdot-2
Rainfall Amount(in): 4.70

Time(hrs)	Print Inc(min)
3.000	2.00

Name: 025yr-004hr
Filename: C:\Projects\25yr-4hr.R32

Override Defaults: Yes
Storm Duration(hrs): 4.00
Rainfall File: Fdot-4
Rainfall Amount(in): 5.90

Time(hrs)	Print Inc(min)
5.000	2.00

Name: 025yr-008hr
Filename: C:\Projects\25yr-8hr.R32

Override Defaults: Yes
Storm Duration(hrs): 8.00
Rainfall File: Fdot-8
Rainfall Amount(in): 7.40

Date: 01/12/16
Input Data

Blountstown Condo

Time(hrs)	Print Inc(min)
9.000	2.00

Name: 025yr-024hr
Filename: C:\Projects\25yr-24hr.R32

Override Defaults: Yes
Storm Duration(hrs): 24.00
Rainfall File: Fdot-24
Rainfall Amount(in): 8.50

Time(hrs)	Print Inc(min)
25.000	2.00

Name: 100yr-001hr
Filename: C:\Projects\100yr-1hr.R32

Override Defaults: Yes
Storm Duration(hrs): 1.00
Rainfall File: Fdot-1
Rainfall Amount(in): 4.40

Time(hrs)	Print Inc(min)
2.000	2.00

Name: 100yr-002hr
Filename: C:\Projects\100yr-2hr.R32

Override Defaults: Yes
Storm Duration(hrs): 2.00
Rainfall File: Fdot-2
Rainfall Amount(in): 5.80

Time(hrs)	Print Inc(min)
3.000	2.00

Name: 100yr-004hr
Filename: C:\Projects\100yr-4hr.R32

Override Defaults: Yes
Storm Duration(hrs): 4.00
Rainfall File: Fdot-4
Rainfall Amount(in): 7.20

Time(hrs)	Print Inc(min)
5.000	2.00

Name: 100yr-008hr
Filename: C:\Projects\100yr-8hr.R32

Override Defaults: Yes
Storm Duration(hrs): 8.00
Rainfall File: Fdot-8
Rainfall Amount(in): 8.90

Time(hrs)	Print Inc(min)
9.000	2.00

Name: 100yr-024hr
Filename: C:\Projects\100yr-24hr.R32

Override Defaults: Yes
Storm Duration(hrs): 24.00
Rainfall File: Fdot-24
Rainfall Amount(in): 10.90

Time(hrs)	Print Inc(min)
25.000	2.00

Name: SCS-002yr-024hr

Date: 01/12/16
Input Data

Blountstown Condo

Filename: C:\Projects\SCS-2yr-24hr.R32

Override Defaults: Yes
Storm Duration(hrs): 24.00
Rainfall File: Scsiii
Rainfall Amount(in): 4.70

Time(hrs)	Print Inc(min)
25.000	2.00

Name: SCS-025yr-024hr
Filename: C:\Projects\SCS-25yr-24hr.R32

Override Defaults: Yes
Storm Duration(hrs): 24.00
Rainfall File: Scsiii
Rainfall Amount(in): 8.50

Time(hrs)	Print Inc(min)
25.000	2.00

=====
=== Routing Simulations ===
=====

Name: 002yr-001hr Hydrology Sim: 002yr-001hr
Filename: C:\Projects\2yr-1hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 2.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
2.000	2.000

Group	Run
BASE	Yes

Name: 002yr-002hr Hydrology Sim: 002yr-002hr
Filename: C:\Projects\2yr-2hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 3.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
3.000	2.000

Group	Run
BASE	Yes

Name: 002yr-004hr Hydrology Sim: 002yr-004hr
Filename: C:\Projects\2yr-4hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000

Date: 01/12/16
Input Data

Blountstown Condo

Start Time(hrs): 0.000 End Time(hrs): 5.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

5.000 2.000

Group Run

BASE Yes

Name: 002yr-008hr Hydrology Sim: 002yr-008hr
Filename: C:\Projects\2yr-8hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 9.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

9.000 2.000

Group Run

BASE Yes

Name: 002yr-024hr Hydrology Sim: 002yr-024hr
Filename: C:\Projects\2yr-24hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 25.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

25.000 2.000

Group Run

BASE Yes

Name: 005yr-001hr Hydrology Sim: 005yr-001hr
Filename: C:\Projects\5yr-1hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 2.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

2.000 2.000

Group Run

Date: 01/12/16
Input Data

Blountstown Condo

BASE Yes

Name: 005yr-002hr Hydrology Sim: 005yr-002hr
Filename: C:\Projects\5yr-2hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 3.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

3.000 2.000

Group Run

BASE Yes

Name: 005yr-004hr Hydrology Sim: 005yr-004hr
Filename: C:\Projects\5yr-4hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 5.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

5.000 2.000

Group Run

BASE Yes

Name: 005yr-008hr Hydrology Sim: 005yr-008hr
Filename: C:\Projects\5yr-8hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 9.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

9.000 2.000

Group Run

BASE Yes

Name: 005yr-024hr Hydrology Sim: 005yr-024hr
Filename: C:\Projects\5yr-24hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000

Date: 01/12/16
Input Data

Blountstown Condo

Start Time(hrs): 0.000
Min Calc Time(sec): 0.5000
Boundary Stages:

End Time(hrs): 25.00
Max Calc Time(sec): 60.0000
Boundary Flows:

Time(hrs) Print Inc(min)

25.000 2.000

Group Run

BASE Yes

Name: 010yr-001hr Hydrology Sim: 010yr-001hr
Filename: C:\Projects\10yr-1hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 2.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

2.000 2.000

Group Run

BASE Yes

Name: 010yr-002hr Hydrology Sim: 010yr-002hr
Filename: C:\Projects\10yr-2hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 3.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

3.000 2.000

Group Run

BASE Yes

Name: 010yr-004hr Hydrology Sim: 010yr-004hr
Filename: C:\Projects\10yr-4hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 5.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

5.000 2.000

Group Run

Date: 01/12/16
Input Data

Blountstown Condo

BASE Yes

Name: 010yr-008hr Hydrology Sim: 010yr-008hr
 Filename: C:\Projects\10yr-8hr.I32

Execute: Yes Restart: No Patch: No
 Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
 Time Step Optimizer: 10.000
 Start Time(hrs): 0.000 End Time(hrs): 9.00
 Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
 Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
9.000	2.000

Group Run
 BASE Yes

Name: 010yr-024hr Hydrology Sim: 010yr-024hr
 Filename: C:\Projects\10yr-24hr.I32

Execute: Yes Restart: No Patch: No
 Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
 Time Step Optimizer: 10.000
 Start Time(hrs): 0.000 End Time(hrs): 25.00
 Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
 Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
25.000	2.000

Group Run
 BASE Yes

Name: 025yr-001hr Hydrology Sim: 025yr-001hr
 Filename: C:\Projects\25yr-1hr.I32

Execute: Yes Restart: No Patch: No
 Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
 Time Step Optimizer: 10.000
 Start Time(hrs): 0.000 End Time(hrs): 2.00
 Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
 Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
2.000	2.000

Group Run
 BASE Yes

Name: 025yr-002hr Hydrology Sim: 025yr-002hr
 Filename: C:\Projects\25yr-2hr.I32

Execute: Yes Restart: No Patch: No
 Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
 Time Step Optimizer: 10.000

Date: 01/12/16
 Input Data

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Start Time(hrs): 0.000 End Time(hrs): 3.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
3.000	2.000
Group	Run
BASE	Yes

Name: 025yr-004hr Hydrology Sim: 025yr-004hr
Filename: C:\Projects\25yr-4hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 5.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
5.000	2.000
Group	Run
BASE	Yes

Name: 025yr-008hr Hydrology Sim: 025yr-008hr
Filename: C:\Projects\25yr-8hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 9.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
9.000	2.000
Group	Run
BASE	Yes

Name: 025yr-024hr Hydrology Sim: 025yr-024hr
Filename: C:\Projects\25yr-24hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 25.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
25.000	2.000
Group	Run

Date: 01/12/16
Input Data

Blountstown Condo

BASE Yes

Name: 100yr-001hr Hydrology Sim: 100yr-001hr
 Filename: C:\Projects\100yr-1hr.I32

Execute: Yes Restart: No Patch: No
 Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
 Time Step Optimizer: 10.000
 Start Time(hrs): 0.000 End Time(hrs): 2.00
 Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
 Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
2.000	2.000

Group Run

BASE Yes

Name: 100yr-002hr Hydrology Sim: 100yr-002hr
 Filename: C:\Projects\100yr-2hr.I32

Execute: Yes Restart: No Patch: No
 Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
 Time Step Optimizer: 10.000
 Start Time(hrs): 0.000 End Time(hrs): 3.00
 Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
 Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
3.000	2.000

Group Run

BASE Yes

Name: 100yr-004hr Hydrology Sim: 100yr-004hr
 Filename: C:\Projects\100yr-4hr.I32

Execute: Yes Restart: No Patch: No
 Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
 Time Step Optimizer: 10.000
 Start Time(hrs): 0.000 End Time(hrs): 5.00
 Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
 Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
5.000	2.000

Group Run

BASE Yes

Name: 100yr-008hr Hydrology Sim: 100yr-008hr
 Filename: C:\Projects\100yr-8hr.I32

Execute: Yes Restart: No Patch: No
 Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
 Time Step Optimizer: 10.000

Date: 01/12/16
 Input Data

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Start Time(hrs): 0.000 End Time(hrs): 9.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
9.000	2.000
Group	Run
BASE	Yes

Name: 100yr-024hr Hydrology Sim: 100yr-024hr
Filename: C:\Projects\100yr-24hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 25.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
25.000	2.000
Group	Run
BASE	Yes

Name: SCS-002yr-024hr Hydrology Sim: SCS-002yr-024hr
Filename: C:\Projects\SCS-2yr-24hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 25.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
25.000	2.000
Group	Run
BASE	Yes

Name: SCS-025yr-024hr Hydrology Sim: SCS-025yr-024hr
Filename: C:\Projects\SCS-25yr-24hr.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 25.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
25.000	2.000
Group	Run

Date: 01/12/16
Input Data

Blountstown Condo

BASE Yes

Date: 01/12/16
Input Data

Blountstown Condo

Simulation	Basin	Group	Time Max hrs	Flow Max cfs	Volume in	Volume ft3
002yr-001hr	Post East Lake	BASE	0.00	0.000	0.000	0.000
002yr-002hr	Post East Lake	BASE	0.00	0.000	0.000	0.000
002yr-004hr	Post East Lake	BASE	4.10	0.001	0.000	0.773
002yr-008hr	Post East Lake	BASE	7.03	0.114	0.029	915.157
002yr-024hr	Post East Lake	BASE	21.00	0.133	0.080	2555.447
005yr-001hr	Post East Lake	BASE	0.00	0.000	0.000	0.000
005yr-002hr	Post East Lake	BASE	2.07	0.025	0.001	26.486
005yr-004hr	Post East Lake	BASE	3.07	0.514	0.046	1477.435
005yr-008hr	Post East Lake	BASE	5.03	0.895	0.210	6714.749
005yr-024hr	Post East Lake	BASE	19.00	0.486	0.419	13407.456
010yr-001hr	Post East Lake	BASE	0.00	0.000	0.000	0.000
010yr-002hr	Post East Lake	BASE	1.87	0.282	0.021	682.536
010yr-004hr	Post East Lake	BASE	3.07	1.235	0.122	3903.225
010yr-008hr	Post East Lake	BASE	5.03	1.473	0.367	11749.684
010yr-024hr	Post East Lake	BASE	19.00	0.764	0.754	24104.149
025yr-001hr	Post East Lake	BASE	0.97	0.084	0.003	88.174
025yr-002hr	Post East Lake	BASE	1.67	0.785	0.080	2555.466
025yr-004hr	Post East Lake	BASE	3.03	2.517	0.295	9442.108
025yr-008hr	Post East Lake	BASE	4.07	3.474	0.720	23027.521
025yr-024hr	Post East Lake	BASE	15.03	1.110	1.123	35909.255
100yr-001hr	Post East Lake	BASE	0.90	1.374	0.046	1477.472
100yr-002hr	Post East Lake	BASE	1.13	2.247	0.273	8722.026
100yr-004hr	Post East Lake	BASE	2.60	4.711	0.655	20934.567
100yr-008hr	Post East Lake	BASE	4.07	6.822	1.286	41125.392
100yr-024hr	Post East Lake	BASE	15.03	2.089	2.216	70860.981
SCS-002yr-024hr	Post East Lake	BASE	16.77	0.097	0.080	2555.466
SCS-025yr-024hr	Post East Lake	BASE	12.33	6.664	1.123	35909.363
002yr-001hr	Post Hwy 20	BASE	0.00	0.000	0.000	0.000
002yr-002hr	Post Hwy 20	BASE	0.00	0.000	0.000	0.000
002yr-004hr	Post Hwy 20	BASE	0.00	0.000	0.000	0.000
002yr-008hr	Post Hwy 20	BASE	7.09	0.011	0.022	85.590
002yr-024hr	Post Hwy 20	BASE	21.02	0.014	0.069	265.029
005yr-001hr	Post Hwy 20	BASE	0.00	0.000	0.000	0.000
005yr-002hr	Post Hwy 20	BASE	2.15	0.000	0.000	0.174
005yr-004hr	Post Hwy 20	BASE	3.18	0.043	0.038	144.751
005yr-008hr	Post Hwy 20	BASE	5.08	0.093	0.190	732.948
005yr-024hr	Post Hwy 20	BASE	19.02	0.055	0.391	1504.788
010yr-001hr	Post Hwy 20	BASE	0.00	0.000	0.000	0.000
010yr-002hr	Post Hwy 20	BASE	1.96	0.026	0.015	58.129
010yr-004hr	Post Hwy 20	BASE	3.13	0.121	0.107	412.647
010yr-008hr	Post Hwy 20	BASE	5.08	0.159	0.341	1310.418
010yr-024hr	Post Hwy 20	BASE	19.02	0.088	0.714	2748.061
025yr-001hr	Post Hwy 20	BASE	1.08	0.003	0.001	4.223
025yr-002hr	Post Hwy 20	BASE	1.76	0.081	0.067	256.634
025yr-004hr	Post Hwy 20	BASE	3.08	0.269	0.271	1041.670
025yr-008hr	Post Hwy 20	BASE	4.16	0.338	0.690	2618.000
025yr-024hr	Post Hwy 20	BASE	15.06	0.127	1.073	4128.765
100yr-001hr	Post Hwy 20	BASE	0.98	0.106	0.038	145.483
100yr-002hr	Post Hwy 20	BASE	1.47	0.239	0.246	945.923
100yr-004hr	Post Hwy 20	BASE	3.03	0.525	0.516	2368.703
100yr-008hr	Post Hwy 20	BASE	4.11	0.704	1.230	4733.779
100yr-024hr	Post Hwy 20	BASE	15.06	0.242	2.142	8241.369
SCS-002yr-024hr	Post Hwy 20	BASE	16.82	0.010	0.069	265.187
SCS-025yr-024hr	Post Hwy 20	BASE	12.37	0.614	1.073	4129.711
002yr-001hr	Post SWMF #1	BASE	0.80	0.827	0.090	896.847
002yr-002hr	Post SWMF #1	BASE	0.89	0.930	0.273	2739.791
002yr-004hr	Post SWMF #1	BASE	2.53	1.042	0.452	4532.212
002yr-008hr	Post SWMF #1	BASE	4.02	1.361	0.757	7581.251
002yr-024hr	Post SWMF #1	BASE	12.02	0.305	1.006	10082.202
005yr-001hr	Post SWMF #1	BASE	0.76	1.779	0.212	2127.465
005yr-002hr	Post SWMF #1	BASE	0.87	1.963	0.492	4931.692
005yr-004hr	Post SWMF #1	BASE	2.53	1.847	0.854	8552.222
005yr-008hr	Post SWMF #1	BASE	4.02	2.572	1.452	14544.505
005yr-024hr	Post SWMF #1	BASE	12.02	0.668	2.008	20120.167
010yr-001hr	Post SWMF #1	BASE	0.73	2.748	0.341	3413.959
010yr-002hr	Post SWMF #1	BASE	0.87	2.975	0.710	7111.425
010yr-004hr	Post SWMF #1	BASE	2.53	2.435	1.167	11694.088
010yr-008hr	Post SWMF #1	BASE	4.02	3.286	1.880	18836.652
010yr-024hr	Post SWMF #1	BASE	12.00	0.932	2.751	27565.457
025yr-001hr	Post SWMF #1	BASE	0.69	4.179	0.533	5343.907
025yr-002hr	Post SWMF #1	BASE	0.84	4.350	1.006	10082.226
025yr-004hr	Post SWMF #1	BASE	2.53	3.374	1.693	16957.479
025yr-008hr	Post SWMF #1	BASE	4.02	4.580	2.681	26864.076
025yr-024hr	Post SWMF #1	BASE	12.00	1.187	3.474	34809.491
100yr-001hr	Post SWMF #1	BASE	0.67	6.518	0.854	8552.282
100yr-002hr	Post SWMF #1	BASE	0.84	7.204	1.631	16343.935
100yr-004hr	Post SWMF #1	BASE	2.51	4.821	2.543	25475.231
100yr-008hr	Post SWMF #1	BASE	4.00	6.284	3.774	37812.350
100yr-024hr	Post SWMF #1	BASE	12.00	1.834	5.344	53545.009
SCS-002yr-024hr	Post SWMF #1	BASE	12.27	2.452	1.006	10082.226
SCS-025yr-024hr	Post SWMF #1	BASE	12.27	8.585	3.474	34809.554
002yr-001hr	Pre East Lake	BASE	0.00	0.000	0.000	0.000

Date: 01/12/16
Output Data - Basins

Blountstown Cendo

Simulation	Basin	Group	Time Max hrs	Flow Max cfs	Volume in	Volume ft3
002yr-002hr	Pre East Lake	BASE	0.00	0.000	0.000	0.000
002yr-004hr	Pre East Lake	BASE	0.00	0.000	0.000	0.000
002yr-008hr	Pre East Lake	BASE	7.03	0.108	0.023	806.570
002yr-024hr	Pre East Lake	BASE	21.00	0.136	0.069	2476.526
005yr-001hr	Pre East Lake	BASE	0.00	0.000	0.000	0.000
005yr-002hr	Pre East Lake	BASE	2.10	0.005	0.000	3.962
005yr-004hr	Pre East Lake	BASE	3.10	0.473	0.038	1370.059
005yr-008hr	Pre East Lake	BASE	5.03	0.921	0.191	6859.107
005yr-024hr	Pre East Lake	BASE	19.00	0.520	0.392	14037.667
010yr-001hr	Pre East Lake	BASE	0.00	0.000	0.000	0.000
010yr-002hr	Pre East Lake	BASE	1.87	0.257	0.016	578.820
010yr-004hr	Pre East Lake	BASE	3.07	1.258	0.108	3883.586
010yr-008hr	Pre East Lake	BASE	5.03	1.555	0.342	12251.827
010yr-024hr	Pre East Lake	BASE	19.00	0.826	0.715	25627.416
025yr-001hr	Pre East Lake	BASE	1.00	0.039	0.001	41.651
025yr-002hr	Pre East Lake	BASE	1.67	0.789	0.069	2476.546
025yr-004hr	Pre East Lake	BASE	3.03	2.660	0.273	9773.320
025yr-008hr	Pre East Lake	BASE	4.07	3.610	0.683	24457.051
025yr-024hr	Pre East Lake	BASE	15.03	1.194	1.074	38496.621
100yr-001hr	Pre East Lake	BASE	0.90	1.298	0.038	1370.098
100yr-002hr	Pre East Lake	BASE	1.17	2.273	0.251	9002.046
100yr-004hr	Pre East Lake	BASE	3.03	5.058	0.619	22183.918
100yr-008hr	Pre East Lake	BASE	4.07	7.291	1.234	44199.186
100yr-024hr	Pre East Lake	BASE	15.03	2.275	2.144	76824.481
SCS-002yr-024hr	Pre East Lake	BASE	16.77	0.097	0.069	2476.546
SCS-025yr-024hr	Pre East Lake	BASE	12.33	6.993	1.074	38496.738
002yr-001hr	Pre Hwy 20	BASE	0.00	0.000	0.000	0.000
002yr-002hr	Pre Hwy 20	BASE	0.00	0.000	0.000	0.000
002yr-004hr	Pre Hwy 20	BASE	0.00	0.000	0.000	0.000
002yr-008hr	Pre Hwy 20	BASE	7.09	0.029	0.022	222.857
002yr-024hr	Pre Hwy 20	BASE	21.02	0.037	0.069	690.076
005yr-001hr	Pre Hwy 20	BASE	0.00	0.000	0.000	0.000
005yr-002hr	Pre Hwy 20	BASE	2.15	0.000	0.000	0.454
005yr-004hr	Pre Hwy 20	BASE	3.18	0.113	0.038	376.898
005yr-008hr	Pre Hwy 20	BASE	5.08	0.243	0.190	1908.431
005yr-024hr	Pre Hwy 20	BASE	19.02	0.144	0.391	3918.126
010yr-001hr	Pre Hwy 20	BASE	0.00	0.000	0.000	0.000
010yr-002hr	Pre Hwy 20	BASE	1.96	0.067	0.015	151.355
010yr-004hr	Pre Hwy 20	BASE	3.13	0.316	0.107	1074.439
010yr-008hr	Pre Hwy 20	BASE	5.08	0.415	0.341	3412.032
010yr-024hr	Pre Hwy 20	BASE	19.02	0.229	0.714	7155.329
025yr-001hr	Pre Hwy 20	BASE	1.08	0.008	0.001	10.996
025yr-002hr	Pre Hwy 20	BASE	1.76	0.212	0.067	668.217
025yr-004hr	Pre Hwy 20	BASE	3.08	0.702	0.271	2712.273
025yr-008hr	Pre Hwy 20	BASE	4.16	0.880	0.680	6816.680
025yr-024hr	Pre Hwy 20	BASE	15.06	0.330	1.073	10750.368
100yr-001hr	Pre Hwy 20	BASE	0.98	0.275	0.038	378.804
100yr-002hr	Pre Hwy 20	BASE	1.47	0.622	0.246	2462.970
100yr-004hr	Pre Hwy 20	BASE	3.03	1.367	0.616	6167.567
100yr-008hr	Pre Hwy 20	BASE	4.11	1.834	1.230	12325.689
100yr-024hr	Pre Hwy 20	BASE	15.06	0.631	2.142	21458.660
SCS-002yr-024hr	Pre Hwy 20	BASE	16.82	0.026	0.069	690.488
SCS-025yr-024hr	Pre Hwy 20	BASE	12.37	1.598	1.073	10752.831

Date: 01/12/16
Output Data - Basins

Blountstown Condo

Name	Group	Simulation	Max Time Stage hrs	Max Stage ft	Warning Stage ft	Max Delta Stage ft	Max Surf Area ft2	Max Time Inflow hrs	Max Inflow cfs	Max T Outfl
Ground	BASE	002yr-001hr	0.00	0.000	0.000	0.0000	0	0.67	0.478	0
Ground	BASE	002yr-002hr	0.00	0.000	0.000	0.0000	0	0.80	0.537	0
Ground	BASE	002yr-004hr	0.00	0.000	0.000	0.0000	0	1.98	0.399	0
Ground	BASE	002yr-008hr	0.00	0.000	0.000	0.0000	0	3.47	0.395	0
Ground	BASE	002yr-024hr	0.00	0.000	0.000	0.0000	0	11.35	0.225	0
Ground	BASE	005yr-001hr	0.00	0.000	0.000	0.0000	0	0.58	0.591	0
Ground	BASE	005yr-002hr	0.00	0.000	0.000	0.0000	0	0.72	0.569	0
Ground	BASE	005yr-004hr	0.00	0.000	0.000	0.0000	0	1.77	0.441	0
Ground	BASE	005yr-008hr	0.00	0.000	0.000	0.0000	0	3.22	0.424	0
Ground	BASE	005yr-024hr	0.00	0.000	0.000	0.0000	0	13.07	0.218	0
Ground	BASE	010yr-001hr	0.00	0.000	0.000	0.0000	0	0.55	0.541	0
Ground	BASE	010yr-002hr	0.00	0.000	0.000	0.0000	0	0.67	0.547	0
Ground	BASE	010yr-004hr	0.00	0.000	0.000	0.0000	0	1.67	0.461	0
Ground	BASE	010yr-008hr	0.00	0.000	0.000	0.0000	0	3.12	0.412	0
Ground	BASE	010yr-024hr	0.00	0.000	0.000	0.0000	0	13.09	0.228	0
Ground	BASE	025yr-001hr	0.00	0.000	0.000	0.0000	0	0.50	0.664	0
Ground	BASE	025yr-002hr	0.00	0.000	0.000	0.0000	0	0.62	0.517	0
Ground	BASE	025yr-004hr	0.00	0.000	0.000	0.0000	0	1.55	0.435	0
Ground	BASE	025yr-008hr	0.00	0.000	0.000	0.0000	0	4.07	0.375	0
Ground	BASE	025yr-024hr	0.00	0.000	0.000	0.0000	0	13.06	0.237	0
Ground	BASE	100yr-001hr	0.00	0.000	0.000	0.0000	0	0.47	0.600	0
Ground	BASE	100yr-002hr	0.00	0.000	0.000	0.0000	0	0.53	0.600	0
Ground	BASE	100yr-004hr	0.00	0.000	0.000	0.0000	0	1.40	0.458	0
Ground	BASE	100yr-008hr	0.00	0.000	0.000	0.0000	0	4.07	0.394	0
Ground	BASE	100yr-024hr	0.00	0.000	0.000	0.0000	0	12.42	0.250	0
Ground	BASESCS	-002yr-024hr	0.00	0.000	0.000	0.0000	0	11.92	0.467	0
Ground	BASESCS	-025yr-024hr	0.00	0.000	0.000	0.0000	0	12.38	0.382	0
Post East Lake	BASE	002yr-001hr	0.00	50.000	50.000	0.0000	0	0.00	0.000	0
Post East Lake	BASE	002yr-002hr	0.00	50.000	50.000	0.0000	0	0.00	0.000	0
Post East Lake	BASE	002yr-004hr	0.00	50.000	50.000	0.0000	0	4.11	0.001	0
Post East Lake	BASE	002yr-008hr	0.00	50.000	50.000	0.0000	0	7.03	0.114	0
Post East Lake	BASE	002yr-024hr	0.00	50.000	50.000	0.0000	0	21.00	0.133	0
Post East Lake	BASE	005yr-001hr	0.00	50.000	50.000	0.0000	0	0.00	0.000	0
Post East Lake	BASE	005yr-002hr	0.00	50.000	50.000	0.0000	0	2.07	0.024	0
Post East Lake	BASE	005yr-004hr	0.00	50.000	50.000	0.0000	0	3.07	0.514	0
Post East Lake	BASE	005yr-008hr	0.00	50.000	50.000	0.0000	0	5.04	0.895	0
Post East Lake	BASE	005yr-024hr	0.00	50.000	50.000	0.0000	0	19.00	0.486	0
Post East Lake	BASE	010yr-001hr	0.00	50.000	50.000	0.0000	0	0.00	0.000	0
Post East Lake	BASE	010yr-002hr	0.00	50.000	50.000	0.0000	0	1.87	0.281	0
Post East Lake	BASE	010yr-004hr	0.00	50.000	50.000	0.0000	0	3.07	1.235	0
Post East Lake	BASE	010yr-008hr	0.00	50.000	50.000	0.0000	0	5.03	1.473	0
Post East Lake	BASE	010yr-024hr	0.00	50.000	50.000	0.0000	0	19.01	0.764	0
Post East Lake	BASE	025yr-001hr	0.00	50.000	50.000	0.0000	0	0.97	0.084	0
Post East Lake	BASE	025yr-002hr	0.00	50.000	50.000	0.0000	0	1.66	0.785	0
Post East Lake	BASE	025yr-004hr	0.00	50.000	50.000	0.0000	0	3.03	2.516	0
Post East Lake	BASE	025yr-008hr	0.00	50.000	50.000	0.0000	0	4.07	3.473	0
Post East Lake	BASE	025yr-024hr	0.00	50.000	50.000	0.0000	0	15.03	1.110	0
Post East Lake	BASE	100yr-001hr	0.00	50.000	50.000	0.0000	0	0.90	1.374	0
Post East Lake	BASE	100yr-002hr	0.00	50.000	50.000	0.0000	0	1.13	2.247	0
Post East Lake	BASE	100yr-004hr	0.00	50.000	50.000	0.0000	0	2.60	4.711	0
Post East Lake	BASE	100yr-008hr	0.00	50.000	50.000	0.0000	0	4.07	6.820	0
Post East Lake	BASE	100yr-024hr	0.00	50.000	50.000	0.0000	0	15.03	2.088	0
Post East Lake	BASESCS	-002yr-024hr	0.00	50.000	50.000	0.0000	0	16.78	0.097	0
Post East Lake	BASESCS	-025yr-024hr	0.00	50.000	50.000	0.0000	0	12.33	6.660	0
Post Hwy 20	BASE	002yr-001hr	0.00	75.000	75.000	0.0000	0	0.00	0.000	0
Post Hwy 20	BASE	002yr-002hr	0.00	75.000	75.000	0.0000	0	0.00	0.000	0
Post Hwy 20	BASE	002yr-004hr	0.00	75.000	75.000	0.0000	0	0.00	0.000	0
Post Hwy 20	BASE	002yr-008hr	0.00	75.000	75.000	0.0000	0	7.06	0.011	0
Post Hwy 20	BASE	002yr-024hr	0.00	75.000	75.000	0.0000	0	21.03	0.014	0
Post Hwy 20	BASE	005yr-001hr	0.00	75.000	75.000	0.0000	0	0.00	0.000	0
Post Hwy 20	BASE	005yr-002hr	0.00	75.000	75.000	0.0000	0	2.14	0.000	0
Post Hwy 20	BASE	005yr-004hr	0.00	75.000	75.000	0.0000	0	3.17	0.043	0
Post Hwy 20	BASE	005yr-008hr	0.00	75.000	75.000	0.0000	0	5.07	0.093	0
Post Hwy 20	BASE	005yr-024hr	0.00	75.000	75.000	0.0000	0	19.03	0.055	0
Post Hwy 20	BASE	010yr-001hr	0.00	75.000	75.000	0.0000	0	0.00	0.000	0
Post Hwy 20	BASE	010yr-002hr	0.00	75.000	75.000	0.0000	0	1.96	0.026	0
Post Hwy 20	BASE	010yr-004hr	0.00	75.000	75.000	0.0000	0	3.10	0.121	0
Post Hwy 20	BASE	010yr-008hr	0.00	75.000	75.000	0.0000	0	5.06	0.159	0
Post Hwy 20	BASE	010yr-024hr	0.00	75.000	75.000	0.0000	0	19.01	0.088	0
Post Hwy 20	BASE	025yr-001hr	0.00	75.000	75.000	0.0000	0	1.07	0.003	0
Post Hwy 20	BASE	025yr-002hr	0.00	75.000	75.000	0.0000	0	1.76	0.081	0
Post Hwy 20	BASE	025yr-004hr	0.00	75.000	75.000	0.0000	0	3.07	0.268	0
Post Hwy 20	BASE	025yr-008hr	0.00	75.000	75.000	0.0000	0	4.13	0.336	0
Post Hwy 20	BASE	025yr-024hr	0.00	75.000	75.000	0.0000	0	21.07	0.316	0
Post Hwy 20	BASE	100yr-001hr	0.00	75.000	75.000	0.0000	0	0.97	0.105	0
Post Hwy 20	BASE	100yr-002hr	0.00	75.000	75.000	0.0000	0	1.47	0.239	0
Post Hwy 20	BASE	100yr-004hr	0.00	75.000	75.000	0.0000	0	3.13	0.684	0
Post Hwy 20	BASE	100yr-008hr	0.00	75.000	75.000	0.0000	0	5.12	1.226	0
Post Hwy 20	BASE	100yr-024hr	0.00	75.000	75.000	0.0000	0	19.04	0.899	0
Post Hwy 20	BASESCS	-002yr-024hr	0.00	75.000	75.000	0.0000	0	16.80	0.010	0
Post Hwy 20	BASESCS	-025yr-024hr	0.00	75.000	75.000	0.0000	0	12.40	0.613	0

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Output Data - Nodes

Blountstown Condo

Name	Group	Simulation	Max Time Stage hrs	Max Stage ft	Warning Stage ft	Max Delta Stage ft	Max Surf Area ft2	Max Time Inflow hrs	Max Inflow cfs	Max T Outf
Pre East Lake	BASE	002yr-001hr	0.00	50.000	50.000	0.0000	0	0.00	0.000	0
Pre East Lake	BASE	002yr-002hr	0.00	50.000	50.000	0.0000	0	0.00	0.000	0
Pre East Lake	BASE	002yr-004hr	0.00	50.000	50.000	0.0000	0	0.00	0.000	0
Pre East Lake	BASE	002yr-008hr	0.00	50.000	50.000	0.0000	0	7.03	0.108	0
Pre East Lake	BASE	002yr-024hr	0.00	50.000	50.000	0.0000	0	21.00	0.136	0
Pre East Lake	BASE	005yr-001hr	0.00	50.000	50.000	0.0000	0	0.00	0.000	0
Pre East Lake	BASE	005yr-002hr	0.00	50.000	50.000	0.0000	0	2.11	0.005	0
Pre East Lake	BASE	005yr-004hr	0.00	50.000	50.000	0.0000	0	3.10	0.473	0
Pre East Lake	BASE	005yr-008hr	0.00	50.000	50.000	0.0000	0	5.04	0.921	0
Pre East Lake	BASE	005yr-024hr	0.00	50.000	50.000	0.0000	0	19.00	0.520	0
Pre East Lake	BASE	010yr-001hr	0.00	50.000	50.000	0.0000	0	0.00	0.000	0
Pre East Lake	BASE	010yr-002hr	0.00	50.000	50.000	0.0000	0	1.87	0.257	0
Pre East Lake	BASE	010yr-004hr	0.00	50.000	50.000	0.0000	0	3.07	1.258	0
Pre East Lake	BASE	010yr-008hr	0.00	50.000	50.000	0.0000	0	5.03	1.555	0
Pre East Lake	BASE	010yr-024hr	0.00	50.000	50.000	0.0000	0	19.01	0.826	0
Pre East Lake	BASE	025yr-001hr	0.00	50.000	50.000	0.0000	0	1.00	0.039	0
Pre East Lake	BASE	025yr-002hr	0.00	50.000	50.000	0.0000	0	1.67	0.789	0
Pre East Lake	BASE	025yr-004hr	0.00	50.000	50.000	0.0000	0	3.03	2.660	0
Pre East Lake	BASE	025yr-008hr	0.00	50.000	50.000	0.0000	0	4.07	3.609	0
Pre East Lake	BASE	025yr-024hr	0.00	50.000	50.000	0.0000	0	15.03	1.194	0
Pre East Lake	BASE	100yr-001hr	0.00	50.000	50.000	0.0000	0	0.90	1.297	0
Pre East Lake	BASE	100yr-002hr	0.00	50.000	50.000	0.0000	0	1.17	2.273	0
Pre East Lake	BASE	100yr-004hr	0.00	50.000	50.000	0.0000	0	3.03	5.058	0
Pre East Lake	BASE	100yr-008hr	0.00	50.000	50.000	0.0000	0	4.07	7.289	0
Pre East Lake	BASE	100yr-024hr	0.00	50.000	50.000	0.0000	0	15.03	2.275	0
Pre East Lake	BASESCS	002yr-024hr	0.00	50.000	50.000	0.0000	0	16.78	0.097	0
Pre East Lake	BASESCS	025yr-024hr	0.00	50.000	50.000	0.0000	0	12.33	6.990	0
Pre Hwy 20	BASE	002yr-001hr	0.00	75.000	75.000	0.0000	0	0.00	0.000	0
Pre Hwy 20	BASE	002yr-002hr	0.00	75.000	75.000	0.0000	0	0.00	0.000	0
Pre Hwy 20	BASE	002yr-004hr	0.00	75.000	75.000	0.0000	0	0.00	0.000	0
Pre Hwy 20	BASE	002yr-008hr	0.00	75.000	75.000	0.0000	0	7.06	0.029	0
Pre Hwy 20	BASE	002yr-024hr	0.00	75.000	75.000	0.0000	0	21.03	0.037	0
Pre Hwy 20	BASE	005yr-001hr	0.00	75.000	75.000	0.0000	0	0.00	0.000	0
Pre Hwy 20	BASE	005yr-002hr	0.00	75.000	75.000	0.0000	0	2.14	0.000	0
Pre Hwy 20	BASE	005yr-004hr	0.00	75.000	75.000	0.0000	0	3.17	0.113	0
Pre Hwy 20	BASE	005yr-008hr	0.00	75.000	75.000	0.0000	0	5.07	0.241	0
Pre Hwy 20	BASE	005yr-024hr	0.00	75.000	75.000	0.0000	0	19.03	0.144	0
Pre Hwy 20	BASE	010yr-001hr	0.00	75.000	75.000	0.0000	0	0.00	0.000	0
Pre Hwy 20	BASE	010yr-002hr	0.00	75.000	75.000	0.0000	0	1.96	0.067	0
Pre Hwy 20	BASE	010yr-004hr	0.00	75.000	75.000	0.0000	0	3.10	0.315	0
Pre Hwy 20	BASE	010yr-008hr	0.00	75.000	75.000	0.0000	0	5.06	0.415	0
Pre Hwy 20	BASE	010yr-024hr	0.00	75.000	75.000	0.0000	0	19.01	0.229	0
Pre Hwy 20	BASE	025yr-001hr	0.00	75.000	75.000	0.0000	0	1.07	0.008	0
Pre Hwy 20	BASE	025yr-002hr	0.00	75.000	75.000	0.0000	0	1.76	0.212	0
Pre Hwy 20	BASE	025yr-004hr	0.00	75.000	75.000	0.0000	0	3.07	0.699	0
Pre Hwy 20	BASE	025yr-008hr	0.00	75.000	75.000	0.0000	0	4.13	0.874	0
Pre Hwy 20	BASE	025yr-024hr	0.00	75.000	75.000	0.0000	0	15.07	0.330	0
Pre Hwy 20	BASE	100yr-001hr	0.00	75.000	75.000	0.0000	0	0.97	0.273	0
Pre Hwy 20	BASE	100yr-002hr	0.00	75.000	75.000	0.0000	0	1.47	0.622	0
Pre Hwy 20	BASE	100yr-004hr	0.00	75.000	75.000	0.0000	0	3.03	1.366	0
Pre Hwy 20	BASE	100yr-008hr	0.00	75.000	75.000	0.0000	0	4.10	1.825	0
Pre Hwy 20	BASE	100yr-024hr	0.00	75.000	75.000	0.0000	0	15.06	0.630	0
Pre Hwy 20	BASESCS	002yr-024hr	0.00	75.000	75.000	0.0000	0	16.80	0.026	0
Pre Hwy 20	BASESCS	025yr-024hr	0.00	75.000	75.000	0.0000	0	12.40	1.596	0
SWMF #1	BASE	002yr-001hr	0.97	77.151	82.000	0.0050	2434	0.80	0.825	0
SWMF #1	BASE	002yr-002hr	2.06	77.522	82.000	-0.0049	2740	0.87	0.919	0
SWMF #1	BASE	002yr-004hr	3.63	77.924	82.000	0.0050	3073	2.53	1.042	1
SWMF #1	BASE	002yr-008hr	7.11	78.239	82.000	0.0050	3365	4.03	1.354	3
SWMF #1	BASE	002yr-024hr	21.07	77.632	82.000	-0.0046	2831	12.03	0.304	11
SWMF #1	BASE	005yr-001hr	1.02	77.551	82.000	0.0050	2765	0.73	1.777	0
SWMF #1	BASE	005yr-002hr	2.10	78.158	82.000	0.0050	3287	0.87	1.962	0
SWMF #1	BASE	005yr-004hr	3.73	78.902	82.000	0.0050	4001	2.53	1.846	1
SWMF #1	BASE	005yr-008hr	8.05	79.702	82.000	0.0050	4859	4.00	2.556	3
SWMF #1	BASE	005yr-024hr	22.07	79.651	82.000	0.0050	4804	12.00	0.667	13
SWMF #1	BASE	010yr-001hr	1.05	77.945	82.000	0.0050	3091	0.73	2.748	0
SWMF #1	BASE	010yr-002hr	2.11	78.712	82.000	0.0050	3618	0.87	2.973	0
SWMF #1	BASE	010yr-004hr	4.06	79.556	82.000	0.0050	4700	2.53	2.434	1
SWMF #1	BASE	010yr-008hr	8.09	80.445	82.000	0.0050	5746	4.00	3.272	3
SWMF #1	BASE	010yr-024hr	22.13	80.790	82.000	0.0050	6181	12.00	0.932	13
SWMF #1	BASE	025yr-001hr	1.07	76.477	82.000	0.0050	3594	0.70	4.175	0
SWMF #1	BASE	025yr-002hr	2.13	79.373	82.000	0.0050	4501	0.87	4.317	0
SWMF #1	BASE	025yr-004hr	4.08	80.493	82.000	0.0050	5806	2.53	3.373	1
SWMF #1	BASE	025yr-008hr	7.19	81.405	82.000	0.0050	7135	4.00	4.572	7
SWMF #1	BASE	025yr-024hr	21.12	81.420	82.000	0.0050	7161	12.00	1.187	21
SWMF #1	BASE	100yr-001hr	1.09	79.240	82.000	0.0050	4356	0.67	6.518	0
SWMF #1	BASE	100yr-002hr	2.15	80.521	82.000	0.0050	5842	0.83	7.107	0
SWMF #1	BASE	100yr-004hr	3.70	81.576	82.000	0.0050	7426	2.53	4.812	3
SWMF #1	BASE	100yr-008hr	5.30	81.993	82.000	0.0050	8134	4.00	6.284	5
SWMF #1	BASE	100yr-024hr	19.06	81.907	82.000	0.0050	7988	12.00	1.834	19
SWMF #1	BASESCS	002yr-024hr	14.70	78.229	82.000	0.0050	3355	12.27	2.450	11
SWMF #1	BASESCS	025yr-024hr	15.97	81.461	82.000	0.0050	7230	12.27	8.581	15

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Blountstown Condo

Name	Group	Simulation	Max Time Stage hrs	Max Stage ft	Warning Stage ft	Max Delta Stage ft	Max Surf Area ft ²	Max Time Inflow hrs	Max Inflow cfs	Max T Outf
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Date: 01/12/16
Output Data - Nodes

Blountstown Condo

Name	Group	Simulation	Max Time Flow hrs	Max Flow cfs	Max Delta Q cfs	Max Time US Stage hrs	Max US Stage ft	Max Time DS Stage hrs	Max DS Stage ft
CS	BASE	002yr-001hr	0.00	0.000	0.000	0.97	77.151	0.00	75.000
CS	BASE	002yr-002hr	0.00	0.000	0.000	2.06	77.522	0.00	75.000
CS	BASE	002yr-004hr	0.00	0.000	0.000	3.63	77.924	0.00	75.000
CS	BASE	002yr-008hr	0.00	0.000	0.000	7.11	78.239	0.00	75.000
CS	BASE	002yr-024hr	0.00	0.000	0.000	21.07	77.632	0.00	75.000
CS	BASE	005yr-001hr	0.00	0.000	0.000	1.02	77.551	0.00	75.000
CS	BASE	005yr-002hr	0.00	0.000	0.000	2.10	78.158	0.00	75.000
CS	BASE	005yr-004hr	0.00	0.000	0.000	3.73	78.902	0.00	75.000
CS	BASE	005yr-008hr	0.00	0.000	0.000	8.05	79.702	0.00	75.000
CS	BASE	005yr-024hr	0.00	0.000	0.000	22.07	79.651	0.00	75.000
CS	BASE	010yr-001hr	0.00	0.000	0.000	1.05	77.945	0.00	75.000
CS	BASE	010yr-002hr	0.00	0.000	0.000	2.11	78.712	0.00	75.000
CS	BASE	010yr-004hr	0.00	0.000	0.000	4.06	79.556	0.00	75.000
CS	BASE	010yr-008hr	0.00	0.000	0.000	8.09	80.445	0.00	75.000
CS	BASE	010yr-024hr	0.00	0.000	0.000	22.13	80.790	0.00	75.000
CS	BASE	025yr-001hr	0.00	0.000	0.000	1.07	78.477	0.00	75.000
CS	BASE	025yr-002hr	0.00	0.000	0.000	2.13	79.373	0.00	75.000
CS	BASE	025yr-004hr	0.00	0.000	0.000	4.08	80.493	0.00	75.000
CS	BASE	025yr-008hr	7.19	0.206	-0.002	7.19	81.405	0.00	75.000
CS	BASE	025yr-024hr	21.12	0.218	0.002	21.12	81.420	0.00	75.000
CS	BASE	100yr-001hr	0.00	0.000	0.000	1.09	79.240	0.00	75.000
CS	BASE	100yr-002hr	0.00	0.000	0.000	2.15	80.521	0.00	75.000
CS	BASE	100yr-004hr	3.70	0.350	-0.004	3.70	81.576	0.00	75.000
CS	BASE	100yr-008hr	5.30	0.792	-0.005	5.30	81.993	0.00	75.000
CS	BASE	100yr-024hr	19.06	0.691	-0.003	19.06	81.907	0.00	75.000
CS	BASESCS	002yr-024hr	0.00	0.000	0.000	14.70	78.229	0.00	75.000
CS	BASESCS	025yr-024hr	15.97	0.250	0.002	15.97	81.461	0.00	75.000
overflow	BASE	002yr-001hr	0.00	0.000	0.000	0.97	77.151	0.00	75.000
overflow	BASE	002yr-002hr	0.00	0.000	0.000	2.06	77.522	0.00	75.000
overflow	BASE	002yr-004hr	0.00	0.000	0.000	3.63	77.924	0.00	75.000
overflow	BASE	002yr-008hr	0.00	0.000	0.000	7.11	78.239	0.00	75.000
overflow	BASE	002yr-024hr	0.00	0.000	0.000	21.07	77.632	0.00	75.000
overflow	BASE	005yr-001hr	0.00	0.000	0.000	1.02	77.551	0.00	75.000
overflow	BASE	005yr-002hr	0.00	0.000	0.000	2.10	78.158	0.00	75.000
overflow	BASE	005yr-004hr	0.00	0.000	0.000	3.73	78.902	0.00	75.000
overflow	BASE	005yr-008hr	0.00	0.000	0.000	8.05	79.702	0.00	75.000
overflow	BASE	005yr-024hr	0.00	0.000	0.000	22.07	79.651	0.00	75.000
overflow	BASE	010yr-001hr	0.00	0.000	0.000	1.05	77.945	0.00	75.000
overflow	BASE	010yr-002hr	0.00	0.000	0.000	2.11	78.712	0.00	75.000
overflow	BASE	010yr-004hr	0.00	0.000	0.000	4.06	79.556	0.00	75.000
overflow	BASE	010yr-008hr	0.00	0.000	0.000	8.09	80.445	0.00	75.000
overflow	BASE	010yr-024hr	0.00	0.000	0.000	22.13	80.790	0.00	75.000
overflow	BASE	025yr-001hr	0.00	0.000	0.000	1.07	78.477	0.00	75.000
overflow	BASE	025yr-002hr	0.00	0.000	0.000	2.13	79.373	0.00	75.000
overflow	BASE	025yr-004hr	0.00	0.000	0.000	4.08	80.493	0.00	75.000
overflow	BASE	025yr-008hr	0.00	0.000	0.000	7.19	81.405	0.00	75.000
overflow	BASE	025yr-024hr	0.00	0.000	0.000	21.12	81.420	0.00	75.000
overflow	BASE	100yr-001hr	0.00	0.000	0.000	1.09	79.240	0.00	75.000
overflow	BASE	100yr-002hr	0.00	0.000	0.000	2.15	80.521	0.00	75.000
overflow	BASE	100yr-004hr	0.00	0.000	0.000	3.70	81.576	0.00	75.000
overflow	BASE	100yr-008hr	0.00	0.000	0.000	5.30	81.993	0.00	75.000
overflow	BASE	100yr-024hr	0.00	0.000	0.000	19.06	81.907	0.00	75.000
overflow	BASESCS	002yr-024hr	0.00	0.000	0.000	14.70	78.229	0.00	75.000
overflow	BASESCS	025yr-024hr	0.00	0.000	0.000	15.97	81.461	0.00	75.000
Perc 1	BASE	002yr-001hr	0.67	0.478	-0.134	0.97	77.151	0.00	0.000
Perc 1	BASE	002yr-002hr	0.80	0.537	0.114	2.06	77.522	0.00	0.000
Perc 1	BASE	002yr-004hr	1.98	0.399	0.036	3.63	77.924	0.00	0.000
Perc 1	BASE	002yr-008hr	3.47	0.395	0.034	7.11	78.239	0.00	0.000
Perc 1	BASE	002yr-024hr	11.35	0.225	0.006	21.07	77.632	0.00	0.000
Perc 1	BASE	005yr-001hr	0.58	0.591	0.175	1.02	77.551	0.00	0.000
Perc 1	BASE	005yr-002hr	0.72	0.569	0.142	2.10	78.158	0.00	0.000
Perc 1	BASE	005yr-004hr	1.77	0.441	0.054	3.73	78.902	0.00	0.000
Perc 1	BASE	005yr-008hr	3.22	0.424	0.055	8.05	79.702	0.00	0.000
Perc 1	BASE	005yr-024hr	13.07	0.218	-0.071	22.07	79.651	0.00	0.000
Perc 1	BASE	010yr-001hr	0.55	0.541	0.178	1.05	77.945	0.00	0.000
Perc 1	BASE	010yr-002hr	0.67	0.547	0.140	2.11	78.712	0.00	0.000
Perc 1	BASE	010yr-004hr	1.67	0.461	0.068	4.06	79.556	0.00	0.000
Perc 1	BASE	010yr-008hr	3.12	0.412	0.075	8.09	80.445	0.00	0.000
Perc 1	BASE	010yr-024hr	13.09	0.228	-0.104	22.13	80.790	0.00	0.000
Perc 1	BASE	025yr-001hr	0.50	0.664	0.241	1.07	78.477	0.00	0.000
Perc 1	BASE	025yr-002hr	0.62	0.517	0.136	2.13	79.373	0.00	0.000
Perc 1	BASE	025yr-004hr	1.55	0.435	0.067	4.08	80.493	0.00	0.000
Perc 1	BASE	025yr-008hr	4.07	0.375	0.014	7.19	81.405	0.00	0.000
Perc 1	BASE	025yr-024hr	13.06	0.237	-0.016	21.12	81.420	0.00	0.000
Perc 1	BASE	100yr-001hr	0.47	0.600	0.246	1.09	79.240	0.00	0.000
Perc 1	BASE	100yr-002hr	0.53	0.600	0.165	2.15	80.521	0.00	0.000
Perc 1	BASE	100yr-004hr	1.40	0.458	0.066	3.70	81.576	0.00	0.000
Perc 1	BASE	100yr-008hr	4.07	0.394	0.020	5.30	81.993	0.00	0.000
Perc 1	BASE	100yr-024hr	12.42	0.250	-0.060	19.06	81.907	0.00	0.000
Perc 1	BASESCS	002yr-024hr	11.92	0.467	-0.113	14.70	78.229	0.00	0.000
Perc 1	BASESCS	025yr-024hr	12.38	0.382	0.007	15.97	81.461	0.00	0.000

Date: 01/12/16
Output Data - Links

Blountstown Condo

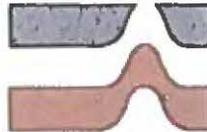
Name	Group	Simulation	Max Time Flow hrs	Max Flow cfs	Max Delta Q cfs	Max Time US Stage hrs	Max US Stage ft	Max Time DS Stage hrs	Max DS Stage ft
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Date: 01/12/16
Output Data - Links

6. Geotechnical Report

7. Drainage Basin Maps

**Preliminary- Results of the Subsurface Soil Exploration
and Infiltration Testing Performed for Two (2)
Proposed Stormwater Management Facilities,
and Limited Evaluation of a Closed Depression
for the Kearney Housing Development,
North of Blountstown Highway (Highway 20),
Tallahassee, Leon County, Florida**



Ardaman & Associates, Inc.

January 8, 2016
113-15-40-1348

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Ardaman & Associates, Inc.

Geotechnical, Environmental and
Materials Consultants

January 8, 2016
File No. 113-15-40-1348

Floresta, LLC,
Mr. Claude Walker- Manager, c/o Mr. J. Keith Dantin, P.E.
2073 Summit Lake Drive, Suite 155
Tallahassee, FL 32317

Attention: Mr. J. Keith Dantin, P.E.

Subject: Preliminary- Results of the Subsurface Soil Exploration and Infiltration Testing Performed for Two (2) Proposed Stormwater Management Facilities, and Limited Evaluation of a Closed Depression for the Kearney Housing Development, North of Blountstown Highway (Highway 20), Tallahassee, Leon County, Florida

Dear Mr. Dantin:

This report is considered "Preliminary" because we understand that the north pond may be redesigned, which would require additional exploration.

The Kearney Housing Development is proposed to be on the north side of Highway 20 (Blountstown Highway), approximately 0.5-miles west of Capital Circle SW. Based on the Moore Bass (MB) general grading plan for the development, we understand the project includes construction of two ponds, a 2 to 2.5 acre stormwater pond near the north end of the site and a smaller ¼ acre pond in the southeast corner of the site.

Based on the MB plan, the large pond bottom elevation will be approximately +67-feet, and the small pond bottom will be +79-feet. The large (north) pond will require up to about 9-feet of cut at the northwest end, and will require about 7-feet of fill along the eastern berm. The small (south) pond will require up to 5-feet of cut in the west end, and up to about 3-feet of fill along the southern and eastern berms. The slopes of the berms are proposed about 3H:1V to 5H:1V.

1.0 Scope of Service

Ardaman & Associates, Inc. performed four (4) Standard Penetration Test ("SPT"; ASTM D1586) borings to a depth of 30-feet below grade, and four (4) Double-Ring Infiltration ("DRI"; ASTM D3385) tests among the two proposed ponds at the Kearney Housing Development site, consisting of 3 SPT borings and 3 DRI's in the larger pond, and 1 SPT and DRI in the smaller pond. The DRI's were performed at approximate proposed pond bottom elevations, or 1 to 2-feet below pond bottom.

Ardaman also performed a reconnaissance of the depression near the northeast corner of the site to provide a preliminary observational opinion whether the depression appears to be an "active" or "inactive" karst feature.

The approximate locations of the test borings, DRI's, and reconnoitered depression are presented on the attached **Figure 1** on the *Test Boring Location Plan*.

2.0 Subsurface Exploration and Generalized Soil Conditions Encountered

Our interpretations of subsurface conditions encountered in the test borings are presented as *Soil Boring Profiles* on **Figure 2**. The *approximate* ground elevation is provided below each Test Hole

number, and the *approximate* depth of proposed pond bottom is denoted with a "red" line crossing each boring profile. These elevations and depths were estimated by Ardaman based on the MB grading plan, and therefore are approximate.

Laboratory testing was performed on selected soil samples, including: Natural Moisture (NM; ASTM D2216); Percent Passing the U.S. No. 200 Sieve Size (Percent Fines, -200; ASTM D1140); and full sieve analysis (Gradation; ASTM D421 and 422). The results of the lab tests are presented adjacent to the *Profiles* at the respective depths the samples were recovered from, and the gradation curves are presented in **Appendix A**.

The stratification lines on the *Profiles* represent the approximate boundaries between soil types, but the actual transitions may be more gradual than implied. This report does not address variations which occur away from the test borings. The nature and extent of such variations may not become evident until during the course of further exploration or construction. If any variations become evident, Ardaman must be contacted to provide additional evaluations.

Test holes TH-1 and TH-4 encountered medium to fine sands with silt to silty sand (Strata 1, 2, 3, and 4) to approximately 13 and 21.5-feet below grade, respectively. Test holes TH-2 and TH-3 encountered approximately 1 to 2-feet of medium to fine sand with silt followed by 10 and 20-feet of clayey fine sand (Strata 2A and 5), respectively.

The deeper portions of TH-1 encountered clayey to very clayey fine sand (Strata 6 and 7), from approximately 13 to 27-feet below grade, and then transitioned back to Stratum 4 from 27 to 30-feet. The deeper portions of TH-2 and 3 encountered Strata 3 and 4, at approximately 11.5 and 21.5-feet below grade, respectively. TH-4 encountered Stratum 5 from 21.5 to 30-feet below grade.

These conditions indicate variable subsurface conditions, considering that two of the three borings in the larger pond to the north encountered shallow clayey soils (i.e. "flow restrictive" soils) followed by medium to fine sand (i.e. "well-draining" soils) and the third boring encountered shallow medium to fine sands followed by clayey sands.

Groundwater was not apparent in Test Holes 1 through 3, but was encountered at approximately 24-feet below grade in TH-4. Groundwater may perch atop of the shallow clayey soils following rainfall events. Based on the date the borings were performed and considering rainfall this past year was below normal (but more than twice average for November), we estimate the *normal* seasonal high water table under pre-development conditions will be about 25-feet below grade at TH-1 through 3, and 20-feet below grade in TH-4. This estimate is not intended to apply to years with above average rainfall, or to post-development conditions.

3.0 Infiltration Test Results and Discussion

The DRI tests were performed in excavated pits near the four test borings, ranging from 4 to 7-feet below existing grade. Two of the DRI's were performed in the relatively flow-restrictive Stratum 2A at TH-2 and 3, while the other two DRI's were performed in the more well-draining Strata 2 and 3 at TH-1 and TH-4. The DRI plots of inner ring infiltration are provided in Appendix B, and the results are presented alongside the *Soil Boring Profiles* on Figure 1, at the respective depths performed.

The results indicate an unfactored inner ring infiltration rate of about 6.5-inches per hour in Strata 2 and 3 and about 0.2-inches per hour in Stratum 2A. We suggest applying a factor of safety of at least 2.0 to the DRI results.

Based on the test borings and DRI results performed in the northern pond, it appears this pond will excavate through at least two distinctly contrasting soil types, resulting in the bulk of the percolation



occurring in a relatively small portion of the pond near TH-1. Considering the DRI results, we estimate that the factored weighted average infiltration rate for the north pond is on the order of 0.9-inches per hour (1.8 feet per day, which includes a safety factor of 2.0).

If increasing the rate of pond recovery for the northern pond is desirable, we recommend considering reshaping the pond so that the larger portion is concentrated in the well-draining sands encountered at TH-1. Trenching and backfilling with sand also appears to be an option, particularly around TH-2. Additional subsurface data would be required for either of these two design changes.

Based on test boring TH-4 and the DRI-4 results, we estimate the infiltration rate for the southern pond to be 3.25-inches per hour (6.5-feet per day, which includes a safety factor of 2.0). TH-4 encountered well-draining sands in the top 21.5-feet, but given the variability in the north pond, we note that clayey layers may exist away from our borings, including at the smaller pond to the south.

During excavation of the south pond, if Strata 2A, 5, 6 or 7 are encountered, the infiltration rate for the south Pond will need to be modified. We recommend contacting Ardaman to observe the cut surface to classify and sample the pond bottom materials, and to provide further guidance, if needed.

We recommend performing a mounding/recovery analysis for each pond. We estimate: fillable porosity 25%; 2-inch suction head for Strata 2 and 3; 6-inch for Stratum 2A; seasonal high groundwater provided in Section 2.0, above. Stratum 5 is an aquitard; Strata 6 and 7 are aquacludes.

4.0 Earthwork Recommendations for the Construction of Berms

We understand that the portions of the northern and the southern pond berms will require filling for construction. The recommendations below for compaction and fill placement are intended for the berms only. The current grading plans do not indicate fill in the pond bottoms. If any fill is to be placed within the pond bottoms, it shall consist of "Select Fill", with less than 15% passing the U.S. No. 200 Sieve, such as Strata 2 and 3, and shall not be purposely compacted when placed.

1. The berm filling areas shall be stripped and grubbed of surface vegetation, then proof-rolled (not including the pond bottom) using appropriate compaction equipment for site and soil conditions. Adjust the moisture content of the soil, as necessary, to aid compaction. Sufficient passes shall be made to develop a minimum of 95% of the Modified Proctor maximum dry density (ASTM D1557) to a depth of 12-inches below the compacted surface. We recommend testing the proof-rolled surface for density, one test per 10,000 square feet.
2. If any areas "yield" during proof-rolling, they must be explored in test trenches to evaluate the condition of the soils. Should yielding result from excessive soil moisture, two corrective alternatives may be considered:
 - If the existing soils are silty or clayey sands (containing less than about 40% fines), harrow and air dry the soils until the moisture content is 2 to 3 percent below the optimum moisture content as determined from the Modified Proctor test; or
 - Replace the wet materials with "Select Fill" soils, as defined above.
3. Remove any materials, if determined to be deleterious, in areas that "yield" during proof-rolling operations, and replace with select fill, as defined above.
4. After satisfactory proof-rolling, filling may proceed in level lifts not exceeding 12-inches loose thickness. Each lift shall be compacted by repeated passes with a loaded dump truck or



similarly heavy equipment to achieve at least 95% Modified Proctor maximum dry density. We recommend testing each 12-inch lift for density per 10,000 square feet of fill. The filling and compaction operations shall continue until proposed elevations are achieved.

5. Fills used for construction of the built-up embankments shall consist of clayey soils, similar to Strata 2A and/or 5, but preferably with less than 35% passing the U.S. No. 200 sieve size. The purpose in using clayey soils along the berm is to inhibit seepage through the berm, resulting in unsightly saturation on the outside of the berm. We caution that as the percent passing the U.S. No. 200 sieve size increases, the workability and compactability decreases.

5.0 Embankment Slopes

Based on the soil types and density conditions encountered, it is our opinion that, *in general*, vegetated permanent cut slopes and berm slopes will be stable at 3H:1V.

Based on the MB grading plan, the slopes for the SWMF's appear to range from 3H:1V to about 5H:1V. Slopes of 3H:1V to 4H:1V will have a safety factor of at least 1.5. Based on the FDOT *Structures Design Guidelines*, a safety factor in excess of 1.5 for overall stability is appropriate. We estimate that the safety factor for slopes flatter than 4H:1V should be greater than 2.0.

Temporary slopes' steepness must meet the requirements of Osha 1926 Subpart P, Soil Types "B" and "C". Inspection, reclassification, and maintenance of slopes in excavations is the sub-contractor's responsibility, and shall be in accordance with Subpart P of 29 CFR 1926.650, 651, and 652.

6.0 Limited Karst Evaluation of Depression

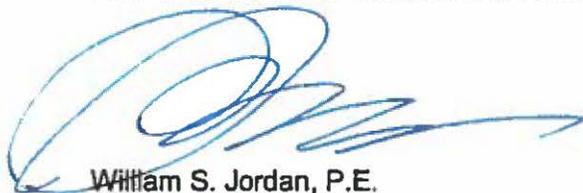
The undersigned Mr. William S. Jordan, P.E., traveled to the site on 12/24/15 and performed walk-over observations of the depression located near the northeast corner of the site, as indicated on Figure 1. Mr. Jordan traversed the depression along several lines, and did not observe indications of the depression being an "active" karst feature. Assessing karst potential was not included in our scope of services.

7.0 Closure

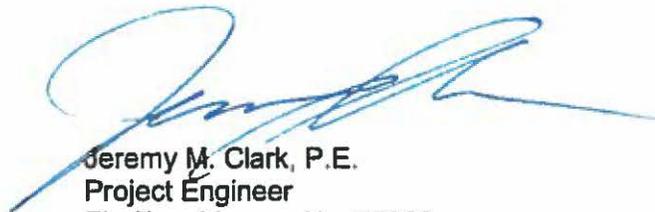
Our test boring did not encounter any conditions indicative of "karst" activity. However, the depths of the borings are not adequate to opine on the potential for the development of sinkhole features.

If you have any questions regarding the above or attached information, please do not hesitate to contact the undersigned.

Sincerely,
ARDAMAN & ASSOCIATES, INC.
Florida Certificate of Authorization Number 5950



William S. Jordan, P.E.
Senior Project Manager
Florida Eng. License No. 33026

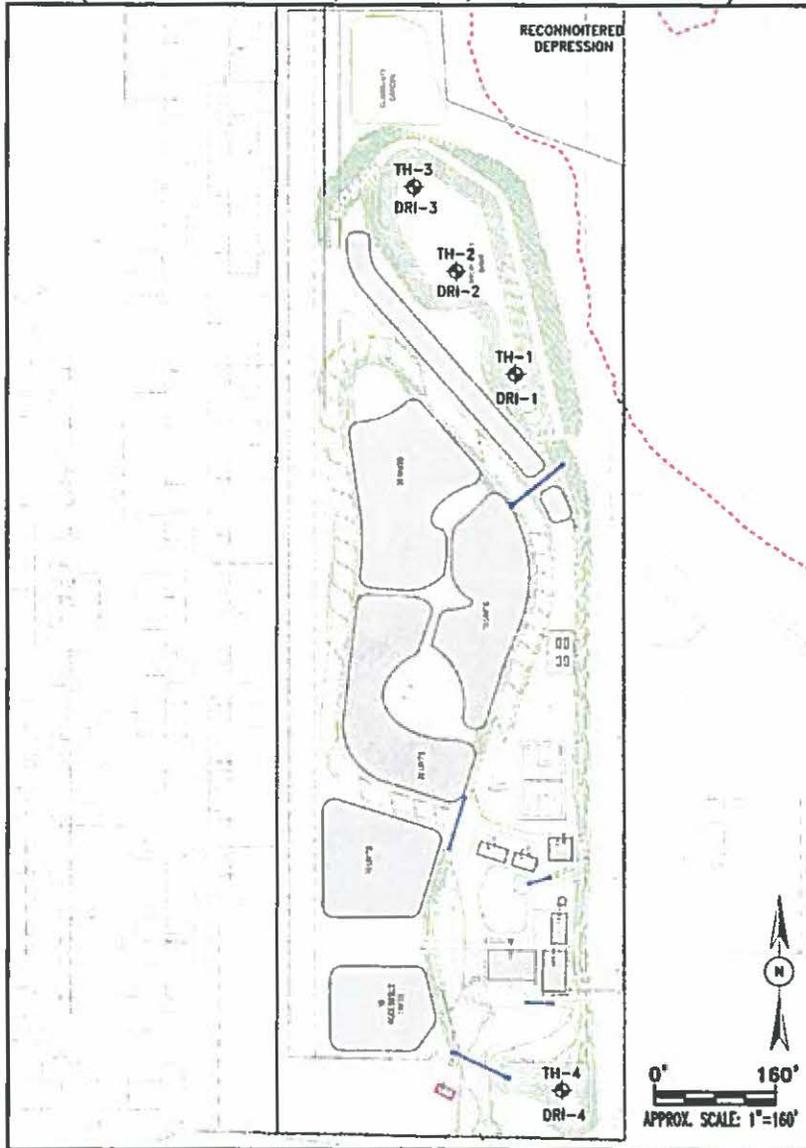


Jeremy M. Clark, P.E.
Project Engineer
FL. Eng. License No. 77660

JMCWSJ/ms
C: Mr. Ben Hood, P.E.- Moore Bass Consulting, Inc., US Mail & email: bhood@moorebass.com



**TEST BORING LOCATION PLAN
(MOORE-BASS PLAN, SHEET 1, UNTITLED DRAWING)**



**GENERAL SITE LOCATION
(GOOGLE EARTH IMAGE, NOT-TO-SCALE)**

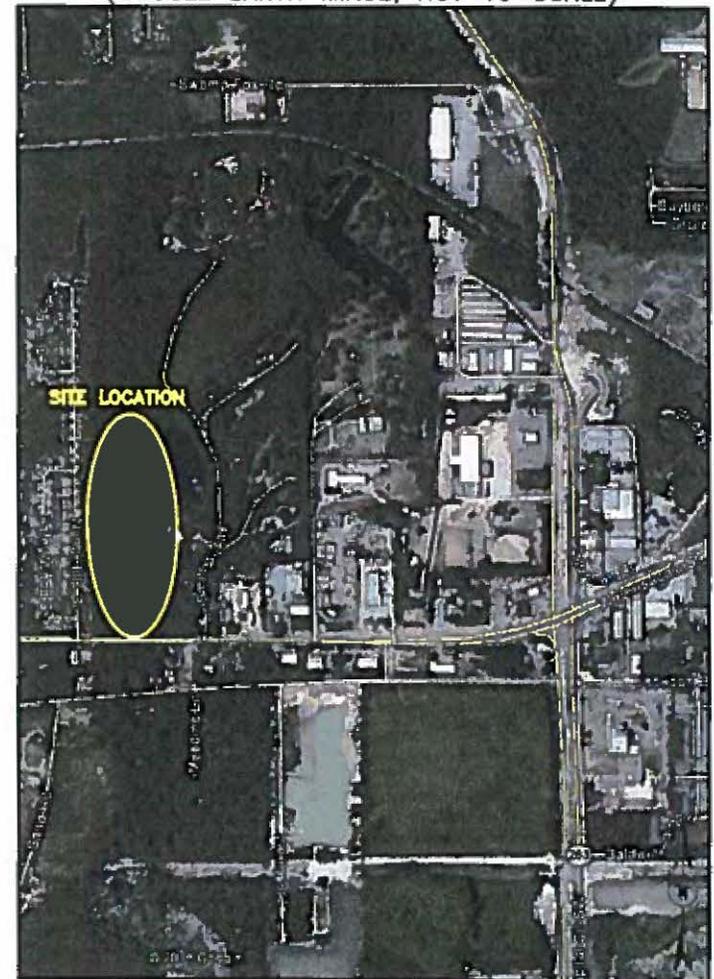
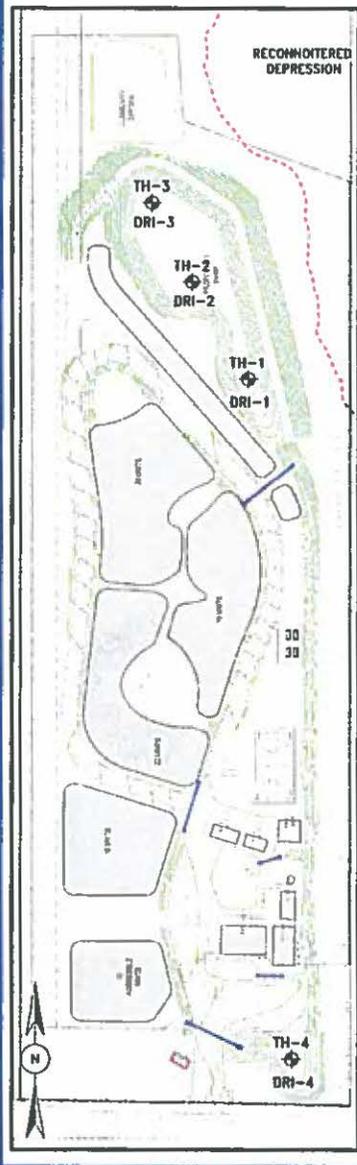


FIGURE LEGEND

- ⊕ TH/DRI APPROXIMATE STANDARD PENETRATION TEST (SPT) BORING AND DOUBLE RING INFILTROMETER (DRI) LOCATION. DRI'S PERFORMED IN NEARBY PIT.

 Ardaman & Associates, Inc. 3175 W. Tampa Street Tallahassee, Florida 32303 (904) 878-8131	
SITE AND TEST BORING LOCATION PLANS SWMF FOR KEARNEY HOUSING TALLAHASSEE, LEON COUNTY, FLORIDA	
DRAWN BY: BAHRIT (13) ORN	CHECKED BY: DEANNA (13) JAMES
DATE: 11/3-15-40-1348	APPROVED BY: W.S. JORDAN, P.E.

TEST BORING LOCATION PLAN
NOT-TO-SCALE



ENGINEERING CLASSIFICATION

I. GRANULAR MATERIALS			
RELATIVE DENSITY	SAFETY HAMMER SPT N-VALUE	AUTO HAMMER SPT N-VALUE	
VERY LOOSE	0 TO 4	0 TO 3	
LOOSE	4 TO 10	3 TO 8	
MEDIUM DENSE	10 TO 30	8 TO 24	
DENSE	30 TO 50	24 TO 40	
VERY DENSE	>50	>40	

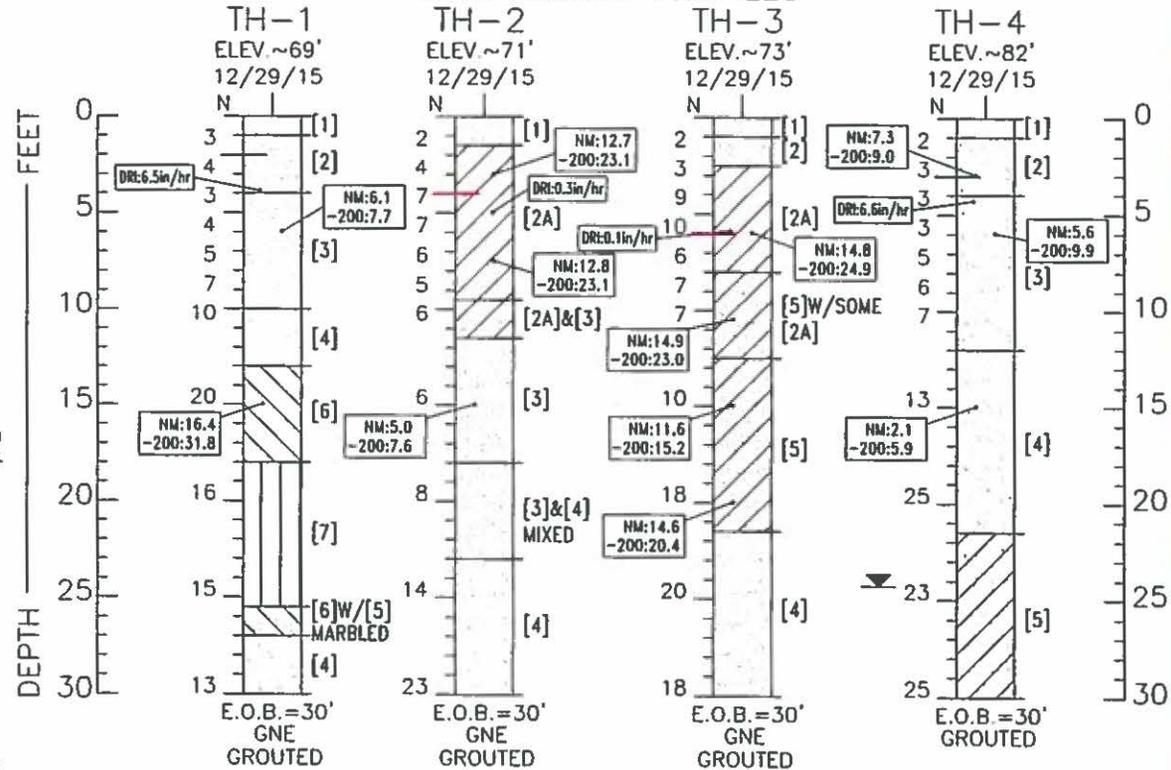
II. SILTS AND CLAYS			
DESCRIPTION	UNCONFINED COMPRESSIVE STRENGTH, QU, TSF	SAFETY HAMMER SPT N-VALUE	AUTO HAMMER SPT N-VALUE
VERY SOFT	<1/4	0 TO 2	0 TO 1
SOFT	1/4 TO 1/2	2 TO 4	1 TO 3
MEDIUM STIFF	1/2 TO 1	4 TO 8	3 TO 6
STIFF	1 TO 2	8 TO 15	6 TO 12
VERY STIFF	2 TO 4	15 TO 30	12 TO 24
HARD	>4	>30	>24

*NOTE: ELEVATIONS PROVIDED ON THE SOIL PROFILES WERE ESTIMATED FROM THE ADJACENT MOORE BASS GRADING LAYOUT (UNTILED/UNDATED). THE ESTIMATED SURFACE ELEVATIONS AND DEPTHS TO PROPOSED POND BOTTOM SHALL BE CONSIDERED VERY APPROXIMATE.

FIGURE LEGEND

- ⊕ TH/DRI APPROXIMATE TEST BORING & DRI LOCATION
- N STANDARD PENETRATION TEST (SPT) "BLOW COUNTS" (ASTM D-1586)
- EOB END OF BORING
- GNE GROUNDWATER NOT ENCOUNTERED
- 24-HOUR DELAYED (DATE DRILLED) DEPTH TO GROUNDWATER
- APPROXIMATE DEPTH OF PROPOSED POND BOTTOM ELEVATION
- NM NATURAL MOISTURE CONTENT IN PERCENT (ASTM D-2216)
- 200 PERCENT PASSING NO. 200 SIEVE (PERCENT FINES)(ASTM D-1140)
- DRI DOUBLE RING INFILTRATION RESULTS (IN/HR)(ASTM D-3385)
- SP-SM, SM, SC UNIFIED SOIL CLASSIFICATION SYSTEM
- A-3, A-2-4 AASHTO SOIL CLASSIFICATION SYSTEM
- DRILLERS: KHM, JDA, SMH, DLK
- DRILL RIG: CME 55, MANUAL HAMMER ABOVE 10.5'; AUTO-HAMMER BELOW

SOIL BORING PROFILES



SOIL LEGEND

- [1] DARK BROWN MEDIUM TO FINE SAND W/SILT & SURFICIAL ROOTS; TOPSOIL (SP-SM W/OL; A-3 W/A-8)
- [2] BROWN MEDIUM TO FINE SAND W/SILT TO SILTY FINE SAND (SP-SM TO SM; A-3 TO A-2-4)
- [2A] REDDISH-BROWN TO BROWN CLAYEY FINE SAND (SC; A-2-4/A-2-6)
- [3] LIGHT BROWN MEDIUM TO FINE SAND W/SILT TO SILTY FINE SAND, (SP-SM TO SM; A-3 TO A-2-4)
- [4] TAN TO BROWNISH-TAN MEDIUM TO FINE SAND W/SILT TO SILTY FINE SAND, SOMETIMES W/THIN LAYERS OF DARK BROWN MEDIUM TO FINE SAND (SP-SM TO SM; A-3 TO A-2-4)
- [5] LIGHT BROWN SILTY, SLIGHTLY CLAYEY TO CLAYEY FINE SAND (SC; A-2-4)
- [6] MARBLED REDDISH-BROWN & GRAY CLAYEY TO VERY CLAYEY FINE SAND (SC; A-2-6 TO A-6)
- [7] TAN TO BROWNISH-TAN VERY CLAYEY FINE SAND (SC; A-6)

WHILE THE BORINGS ARE REPRESENTATIVE OF SUBSURFACE CONDITIONS AT THEIR RESPECTIVE LOCATIONS AND FOR THEIR RESPECTIVE VERTICAL REACHES, LOCAL VARIATIONS CHARACTERISTICS OF THE SUBSURFACE MATERIALS OF THE REGION ARE ANTICIPATED AND MAY BE ENCOUNTERED. THE BORING LOGS AND RELATED INFORMATION ARE BASED ON THE DRILLER'S LOGS AND VISUAL EXAMINATION OF SELECTED SAMPLES IN THE LABORATORY. THE DELINEATION BETWEEN SOIL TYPES SHOWN ON THE LOGS IS APPROXIMATE AND THE DESCRIPTION REPRESENTS OUR INTERPRETATION OF SUBSURFACE CONDITIONS AT THE DESCRIBED BORING LOCATIONS ON THE PARTICULAR DATE DRILLED. CIRCUMFERENTIAL ELEVATIONS SHOWN ON THE BORING LOGS REPRESENT CIRCUMFERENTIAL SURFACES ENCOUNTERED ON THE BATES SHOWING FLUCTUATIONS IN WATER TABLE SHOULD BE ANTICIPATED THROUGHOUT THE YEAR. ABSENCE OF WATER SURFACE DATA ON CERTAIN BORINGS IMPLIES THAT NO GROUNDWATER DATA IS AVAILABLE, BUT DOES NOT NECESSARILY MEAN THAT GROUNDWATER WILL NOT BE ENCOUNTERED AT THESE LOCATIONS OR WITHIN THE VERTICAL REACHES OF THESE BORINGS IN THE FUTURE.

Ardaman & Associates, Inc.
3175 W. Thurgate Street
Tallahassee, Florida 32303
Telephone: (904) 578-8330
(850) 578-8331

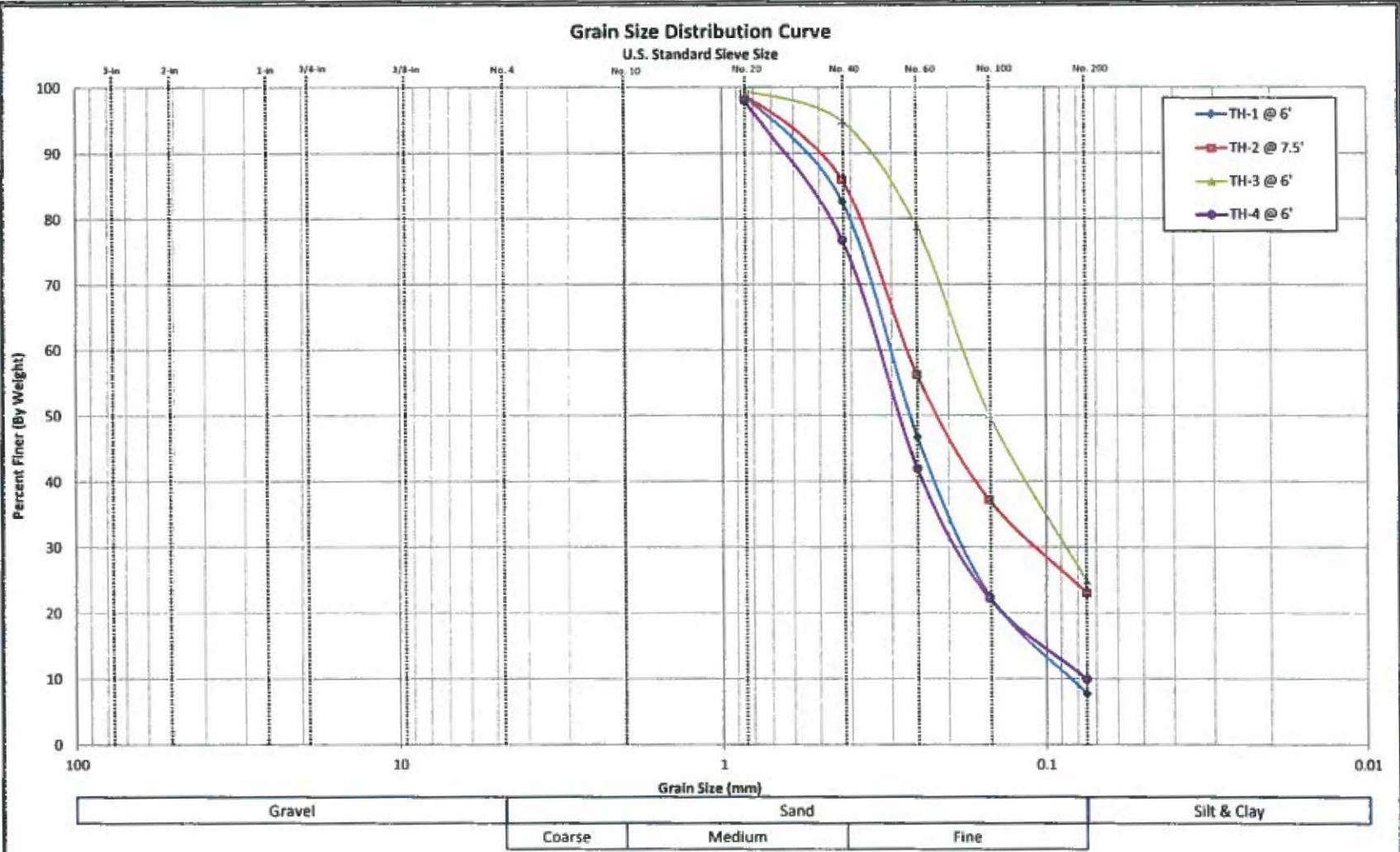
DATE: 01/18/18
SUBSURFACE SOIL EXPLORATION FOR THE
SWM'S FOR KEARNEY HOUSING PROJECT
TALLAHASSEE, LEON COUNTY, FLORIDA

DESIGNED BY: ROBERT FLAHERTY
CHECKED BY: DEBRAH A. ARDAMAN
DATE: 01/18/18

FILE NO: 113-15-40-1348
APPROVED BY: W.S. JORDAN, P.E.

Attachment #2
Page 160 of 208

APPENDIX A
GRAIN SIZE DISTRIBUTION



Soil Sampled Information			Sieve Name											Soil Passing (%)
Test Hole No.	Sampled Depth	Stratum No.	3-in	2-in	1-in	3/4-in	3/8-in	No. 4	No. 10	No. 20	No. 40	No. 60	No. 100	
TH-1	@ 6'	3								98.7	82.7	46.8	22.7	7.7
TH-2	@ 7.5'	2A								99.0	86.0	56.3	37.3	23.1
TH-3	@ 6'	2A								99.6	94.8	78.7	50.2	24.9
TH-4	@ 6'	3								98.0	76.8	42.0	22.3	9.9

Soil Description
 Stratum 3: Light brown medium to fine sand with silt to silty fine sand (A-3 to A-2-4)
 Stratum 2A: Reddish-brown to brown clayey fine sand (A-2-4/A-2-6)

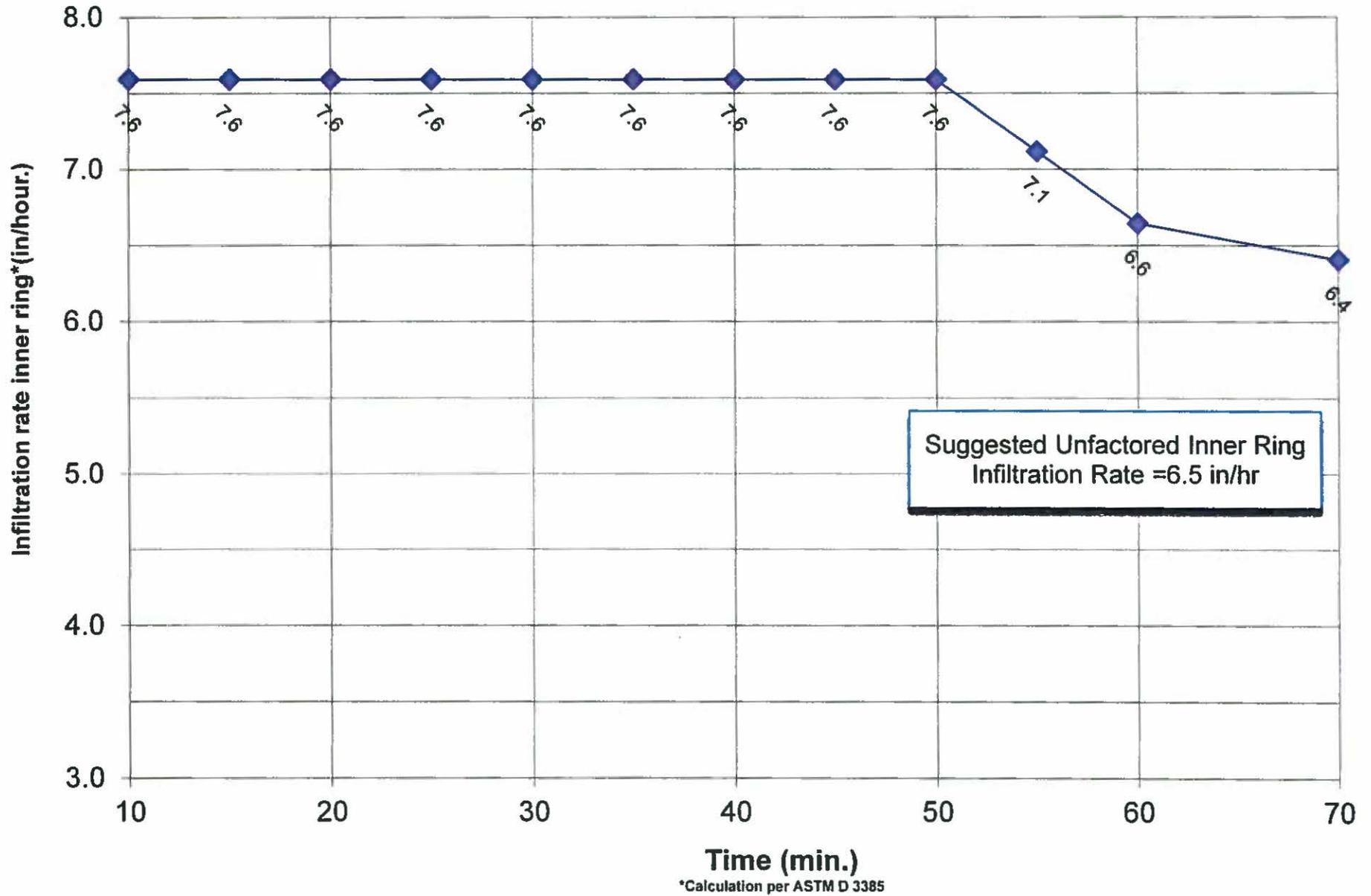
Ardaman & Associates, Inc.
 Geotechnical, Environmental and
 Materials Consultants

Project Name: Kearney Housing Develop.
 Client: Floresla, LLC
 Project File No. 113-15-40-1348
 Date: 1/7/16
 Engineer: Jeremy M. Clark, P.E.
 Reviewed By: William S. Jordan, P.E.

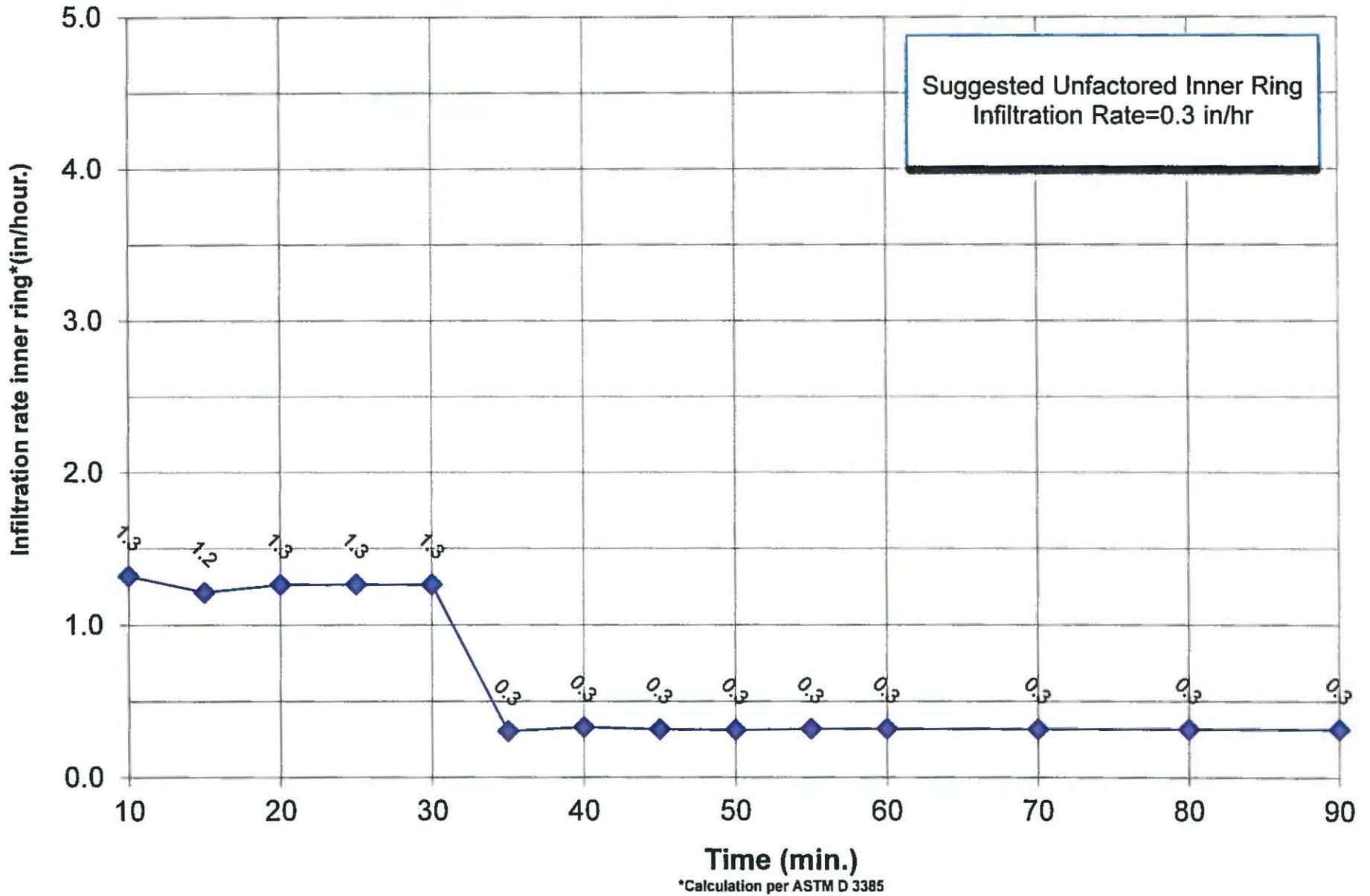
APPENDIX B

DRI PLOTS OF INNER RING INFILTRATION

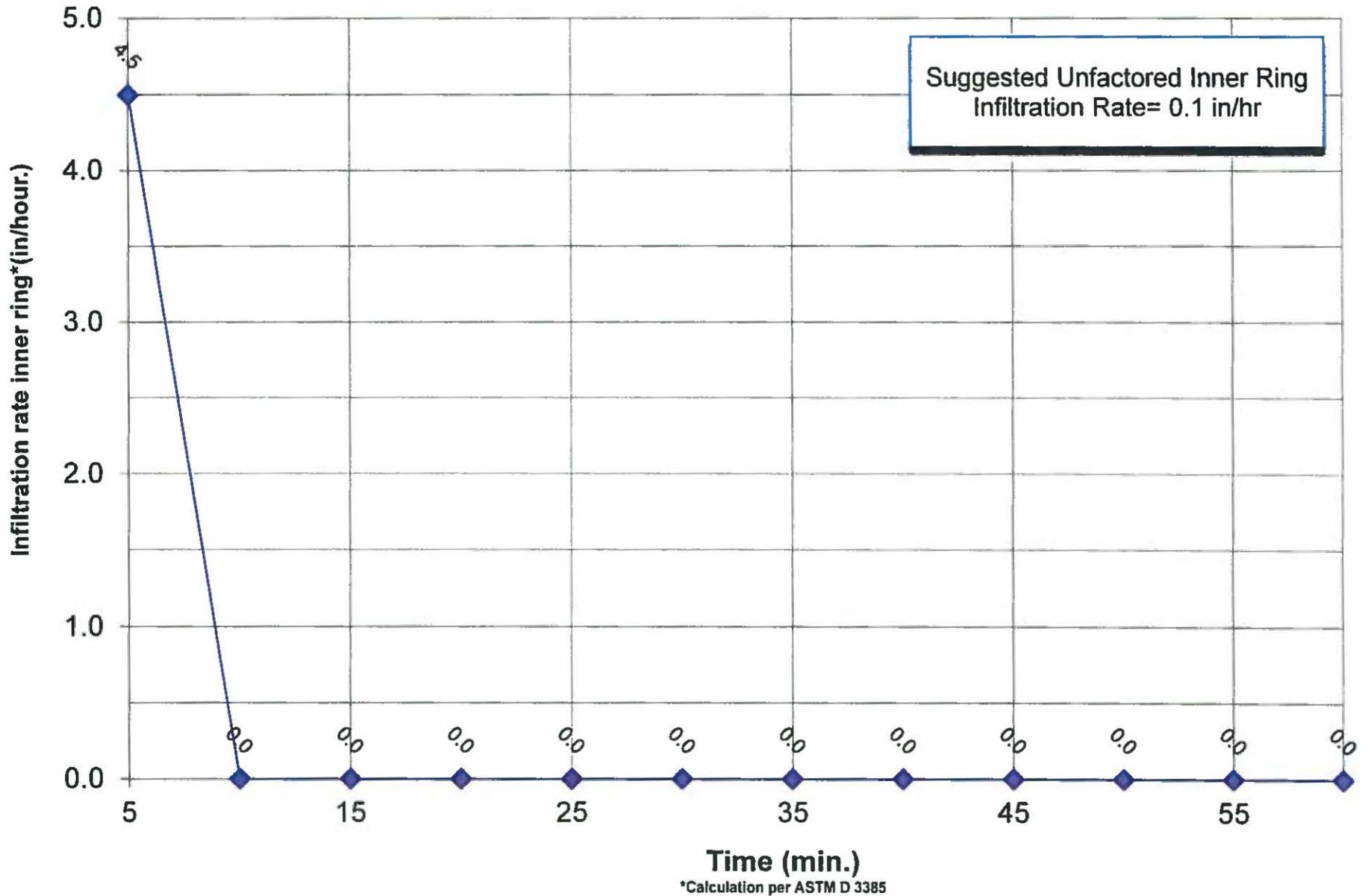
ARDAMAN & ASSOCIATES, INC. DRI AT 4' DEPTH NEAR TH-1
KEARNEY HOUSING, 12/30/2015



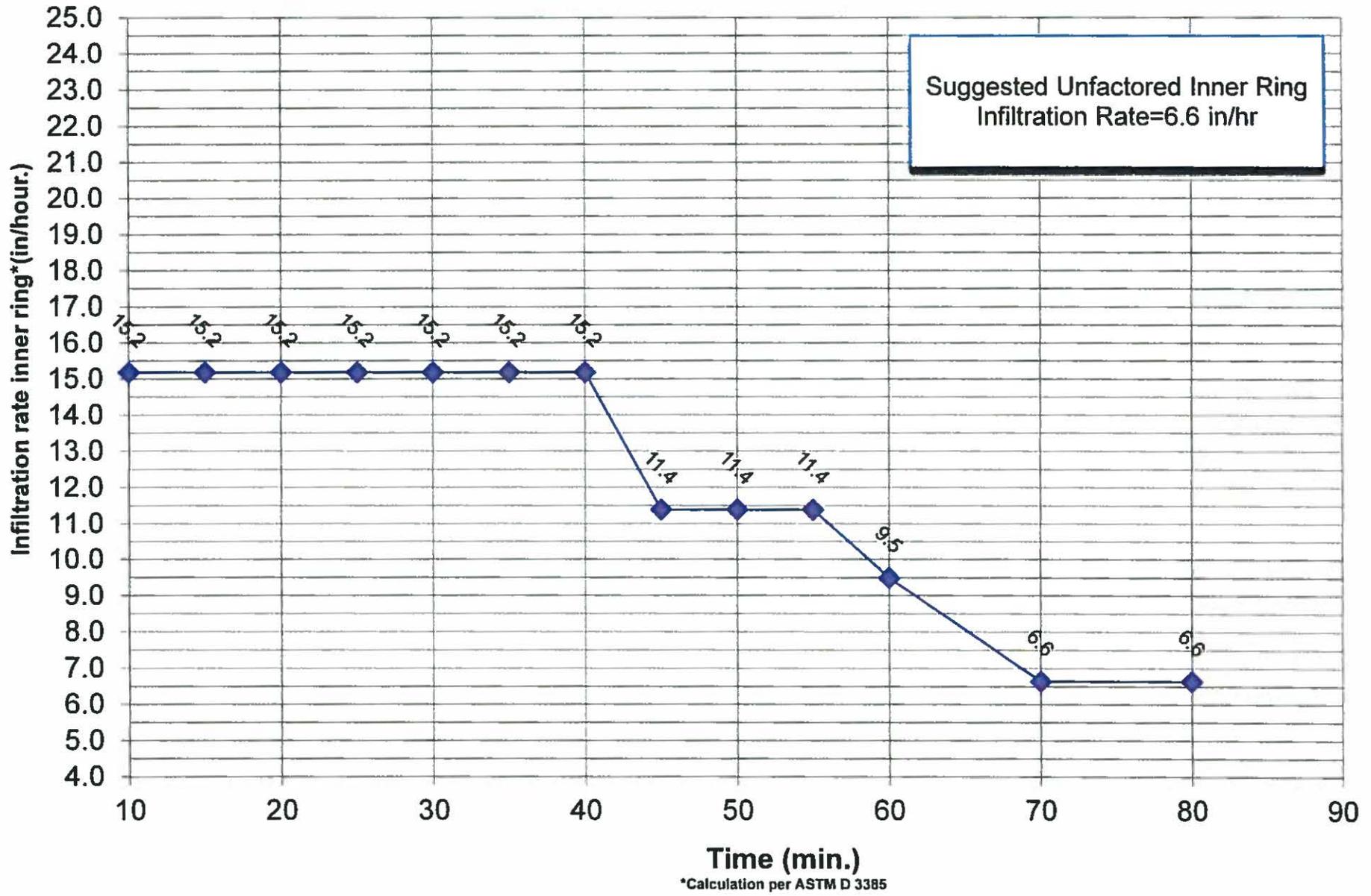
ARDAMAN & ASSOCIATES, INC. DRI AT 5' DEPTH NEAR TH-2
KEARNEY HOUSING, 1/4/2016



ARDAMAN & ASSOCIATES, INC. DRI AT 6' DEPTH NEAR TH-3
KEARNEY HOUSING, 12/30/2015



**ARDAMAN & ASSOCIATES, INC. DRI AT 4' DEPTH NEAR TH-4
KEARNEY HOUSING, 12/30/2015**



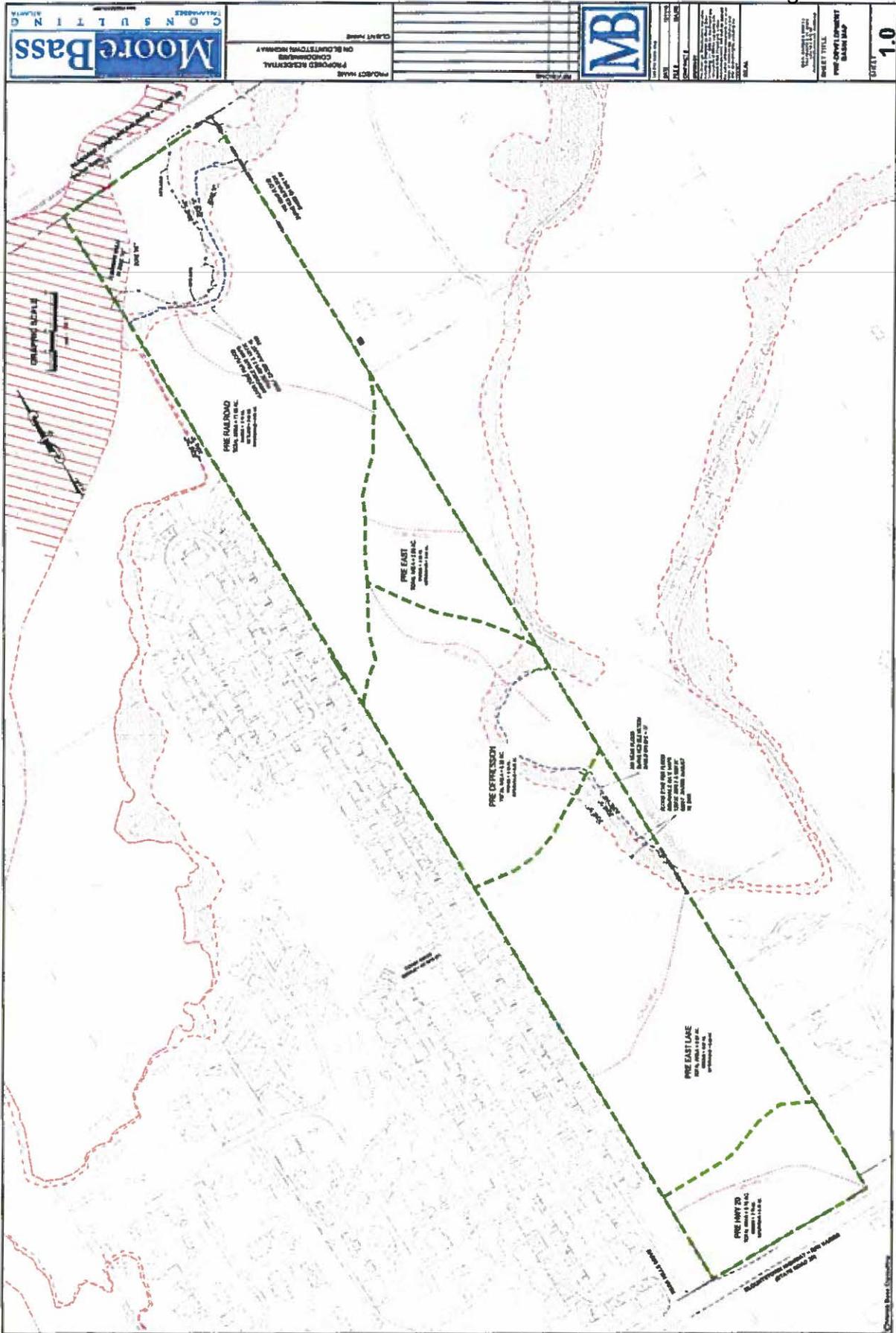


Exhibit 9

Environmental Impact Analysis Plan dated January 12, 2016

Exhibit 10

First Notice of Application Deficiency Regarding the Environmental
Impact Analysis dated January 25, 2016



Leon County

Board of County Commissioners

301 South Monroe Street, Tallahassee, Florida 32301
(850) 606-5302 www.leoncountyfl.gov

Department of Development Support
and Environmental Management
Division of Environmental Services
Renaissance Center, 2nd Floor
435 North Macomb Street
Tallahassee, Florida 32301-1019

Commissioners

BILL PROCTOR
District 1

JANE G. SAULS
District 2

JOHN DAILEY
District 3

BRYAN DESLOGE
District 4

KRISTIN DOZIER
District 5

MARY ANN LINDLEY
At-Large

NICK MADDOX
At-Large

VINCENT S. LONG
County Administrator

HERBERT W.A. THIELE
County Attorney

January 25, 2015

Moore Bass Consulting, Inc.
c/o Tom O'Steen
805 N. Gadsden Street
Tallahassee, FL 32303

**Re: First Notice of Application Deficiency (NAD-1)
Residential Condominiums on Blountstown Hwy
Environmental Impact Analysis (LEA160002)
Parcel ID: 21-31-20-007-0030**

Dear Mr. O'Steen:

We have completed our review of the subject Environmental Impact Analysis (EIA) application. This EIA review was based on the drawings provided for the "Type A Site Plan". Before final submittal, please revise the title of the drawings to "Environmental Impact Analysis (LEA160002)" on sheet 1.0. The following are items that shall be addressed prior to approval of the EIA:

GENERAL COMMENTS:

1. Comments identified in the January 25, 2016 Environmental Site Plan Review Memorandum shall also be addressed within the EIA. A copy of the Memorandum is attached. Comments from other Site Plan review entities shall be addressed such that the final EIA is generally consistent with the approved Site Plan.
2. Pursuant to Section 10-4.345(a), LDC, all development activity shall preserve a minimum of 25 percent of the total area of the development site in a natural condition. All natural areas designated to be preserved shall be recorded in a conservation easement. Upon review of the existing conservation easements on the property, there appears to be an approximate four percent deficiency to the 25 percent natural area requirement. Please propose additional natural area to be preserved under a conservation easement, include a sketch of this area within the EIA plan-set, and provide

an executed conservation easement for the additional natural area as part of the Environmental Management Permit.

3. Please discuss intention of the existing conservation easements (i.e. whether the current boundaries will be kept, if the applicant wishes to change the boundaries/locations, etc.).
4. Please provide a vegetation management plan for the conservation easements that addresses invasive plant control pursuant to Section 10-4.202(a)(2)d, LDC.
5. Please add a Conceptual Landscape Plan for the development to the plans and identify the sheet location in the Sheet Index.
6. The Conceptual Landscape Plan shall include a Minimum Planting Density Detail for the Type "D" Buffers. Please add a note that existing healthy vegetation shall be preserved and augmented as necessary to meet minimum planting density. Please note that any work within the critical root protection zone of existing trees that are to remain shall be conducted under the supervision of a certified arborist.
7. Please identify areas that are calculated as natural area (25% minimum of the site) and landscape area (20% minimum of the developed area) on the Conceptual Landscape Plan.
8. Please specify the minimum requirements for the proposed canopy coverage tree plantings on the Conceptual Landscape Plan. Examples are canopy or understory trees, pavement setback, offset from underground utilities, etc.
9. Please add a note on the Conceptual Landscape Plan that additional landscape details are to be provided in the Environmental Management Permit (EMP), but shall meet minimum standards specified within the Site Plan/ EIA.
10. Please demonstrate on the Conceptual Landscape Plan that the project meets the tree credit/debit requirements or the 40 trees credits per developed acre.

EIA NARRATIVE:

11. In the narrative, please provide a description of the type of development proposed for the property.
12. Please describe in the narrative any trees that will be impacted as a result of the proposed development. Please identify proposed mitigation for protected trees to be removed pursuant to Section 10-4.364(b)(1), LDC.

STORMWATER ANALYSIS:

13. Please ensure that the Stormwater Analysis is signed and sealed by the engineer of record.
14. Please demonstrate that stormwater runoff from all the developed areas are captured and routed to a Stormwater Management Facility (SWMF). Please revise the plans and calculations.
15. On account of downstream flooding, please revise the stormwater calculations to demonstrate pre-post rate control for all design storms through the 100-year/24 hour storm.
16. Please revise the Stormwater Analysis such that the existing land use is "woods" in "good" condition.
17. Please revise the treatment volume calculation as is appears to be based on a peak flow rate methodology as opposed to total runoff from three inches (3") of rainfall.
18. While it appears that the SWMF will recover quickly, please provide a supporting calculation in the Stormwater Analysis and note the depth to the estimated seasonal high water table.
19. While not required for the EIA, please be advised that additional conveyance analysis and calculations shall be supplied at the time of the EMP to support all proposed pipe sizes, alignments, inverts, stabilization, etc.

PLAN SHEETS:

20. On sheet 2.0, please ensure that all items depicted are consistent with the approved NFI. Please label all existing conservation easements. Please add a legend (see approved NFI map).
21. On sheets 2.0 and 5.0, it appears that there is not a 50 foot buffer from the wetland to the conservation easement line. Please provide the distance from the wetland line to the conservation easement line at the narrowest point. If the distance is not 50 feet, it could be an option to increase this conservation area to the amount needed to comply with the 25 percent natural area requirement.
22. On sheet 2.1, please identify any protected trees and existing improvements/features that might conflict with the proposed discharge pipe connection to the existing FDOT inlet structure.
23. Pursuant to Section 10-4.344, Leon County Land Development Code (LDC), a minimum of 20 percent of the total developed area shall be

devoted to landscaping. At least five percent of the landscape area shall be located within the interior area of the site. Please adjust the calculations on sheet 3.0 to demonstrate that 20 percent of the developed area (4.09 acres) has been devoted to landscaping and that five percent is within the interior.

24. On sheet 3.0, please provide a detail for the Type "D" Buffer Plantings.
25. Pursuant to Section 10-4.347(2)(a), LDC, in vehicular use areas within the interior of a site, one 400 square foot natural or landscaped planted area shall be required for every 5,000 square feet of vehicular use area. Please revise sheet 3.0 and provide a minimum of four separate landscape islands in the parking area, each with a minimum of 400 square feet. Please provide the width and length of each landscape island and identify the percent of the landscape islands on the plans.
26. On sheet 3.0, please provide measurements from the vehicular use areas to the perimeter landscaping.
27. On sheet 3.0, please provide more information regarding the land use and improvements within the residential unit area. For example, the maximum amount of impervious area, maximum amount of semi-impervious area (ex. trails, LID parking), minimum amount of undisturbed woods, minimum amount of other landscaping, etc. Please ensure that all numbers identified are consistent within the plans and the supporting stormwater calculations.
28. On sheet 3.0, please provide general placement guidance for utilities, units, pedestrian corridors, and parking to ensure conflicts are avoided and/or minimized and stormwater conflicts avoided.
29. On sheet 4.0, please identify the side slopes of the stormwater pond. If slopes are steeper than 4:1, fencing and fence screening is required. This will need to be shown on the plans.
30. On sheet 4.0, all developed areas shall be routed to the SWMF. It appears that additional access drive area near the connection with the Public Right-of-Way (ROW) can be captured and routed to the SWMF.
31. If parking is proposed for units in the Unit Area, please clarify how vehicles will have access. Drainage swales are proposed between the road and the Unit Area.
32. On sheet 4.0, please identify the location of the emergency overflow weir and evaluate the flow path to the receiving water or drainage feature.
33. DSEM staff recommends routing the parking drainage to the proposed swale to minimize the potential erosion of the northern slopes of the pond.

Residential Condominiums on Blountstown Hwy
LEA160002
Page 5 of 5

34. On sheet 5.0, please ensure that all items depicted are consistent with the approved NFI. Please label all existing conservation easements. Please add a legend (see approved NFI map).
35. On sheet 6.0, please ensure that potential utility conflicts have been evaluated.

A markup of the EIA narrative, Environmental Features Impact Map, and Stormwater Analysis which illustrate several of the comments above have been provided in ProjectDox (LEA16002/EIA Application). If you have any questions concerning this letter or need additional information, please contact me at (850) 606-1371 or by e-mail at Collinsm@LeonCountyFL.gov.

Sincerely,



Katy Collins
Environmental Review Specialist

Enclosed: Environmental Site Plan Review Memorandum

cc: Ameris Bank, 7915 Baymeadows Way, Suite 300, Jacksonville, FL 32256

Exhibit 11

Environmental Impact Analysis Narrative with Markups



Land Use Planning · Engineering Design · Environmental Permitting · Landscape Architecture · Surveying

**Environmental Impact Analysis
for
Proposed Residential Condominiums on Blountstown Highway**

Tax ID No. 21-31-20-007-0030
MBC #554.096

January 12, 2016

GENERAL

The proposed site is a tract totaling 33.52+/- acres located on Blountstown Highway. The property lies in Section 31, Township 01 North, Range 01 West. The site is currently vacant and mostly wooded. The site is encumbered by an existing conservation easement, which is shown on the boundary survey. The easement is recorded in the public records of Leon County FL in Book 3847, page 1674. It is believed that the easement was recorded as part of the Star Pointe subdivision, which was never constructed. The exact purpose of the easement is not clear but it is presumed to be for slope preservation associated with a prior development plan. *The current recorded conservation easements do not meet the 25% preserved natural area requirement. Please see the #2 and #3 on the Notice of Deficiency.*

Natural features as identified in the approved natural features inventory are described below. All of the regulated features lie within the northern portion of the project. The project area occurs on only the southernmost 4.09 acres of the site and as such, does not impact any of the regulated features.

Stormwater runoff from the project area will be collected in a series of swales and inlets and conveyed to a proposed stormwater management facility to be located adjacent to Blountstown Highway. See included stormwater analysis for additional information.

Please provide a description of the type of development proposed for the property.

NATURAL FEATURES INVENTORY

Vegetative Communities

The site can be described using the Florida Land Use, Cover and Forms Classification System as Hardwood Forested Uplands - Mixed Hardwoods, FLUCCS Designation 1112:

This is a hardwood community in which no single species or species group appears to achieve a 66 percent dominance of the canopy. This class of hardwoods includes any combination of large and small hardwood tree species none of which can be identified as dominating the canopy. (FLUCCS)

Please identify any trees that will impacted Please identify proposed mitigation for protected trees to be removed.

Drainage Area

The site is located within the Gum Creek West Watershed, part of the Lake Munson Basin.

Waterbodies

The site does not contain any waterbodies.

EIA Narrative
Proposed Residential Condominium on Blountstown Highway
January 12, 2016
Page 2 of 2

Watercourses

There is a small area of watercourse located on the northwestern most portion of the property. The water course passes through a culvert beneath the railroad tracks on the north end of the site.

Wetlands

Wetlands were located on the northernmost portion of the project as delineated by Cardno in a report dated December 15, 2015, previously submitted with the NFI application (LEA150065).

Floodplain

The site contains 100 year floodplain associated with the wetlands on the northern part of the project. There is also an area of flood plain located near the eastern property line approximately midway along the length of the line. Flood plain is shown per FIRM 12073C 0278 F and 12073C 0286 F, dated: AUGUST 18, 2009.

Floodways

The site contains a floodway in the northwest corner of the property.

Grades/Slopes

Significant and severe slopes within 100 feet of wetlands and floodplain and slopes contiguous to that line are delineated on the NFI map. The majority of the slopes are significant. Severe slopes only exist in very small areas within the significant slopes. We request that these small pockets of severe slopes be regulated as significant.

Soils

The soil survey indicates that a majority the site consists of Lakeland Fine Sand (021)(hydrologic soil group A). The northern most section contains a pocket of Plummer Fine Sand Fine Sand (041) (hydrologic soil group B/D). This is graphically identified on the Natural Features Inventory map.

Karst Features

There are no known karst features on this site. We reviewed the online Tallahassee-Leon County GIS Natural Features Inventory Map for karst features. There were none indicated. In addition, field survey indicated a small depression near the middle of the site along the eastern edge. Ardaman and Associates were hired to explore the depression. They walked the entire depression and did not observe any holes in the ground or any other indication of active karst.

Wells/Groundwater

No wells or areas susceptible to groundwater are identified. If further detailed survey work provides evidence of these features, then appropriate measures will be taken.

Tree Tagging

All regulated on-site trees have been field located and are reflected on the Natural Features Inventory map.

Listed Species

To the best of our knowledge, there are no known habitats of endangered, threatened or species of special concern located on this site. Please see report from Cardno, dated December 15, 2015.

Special Development Area

The site does not contain any special development zones.

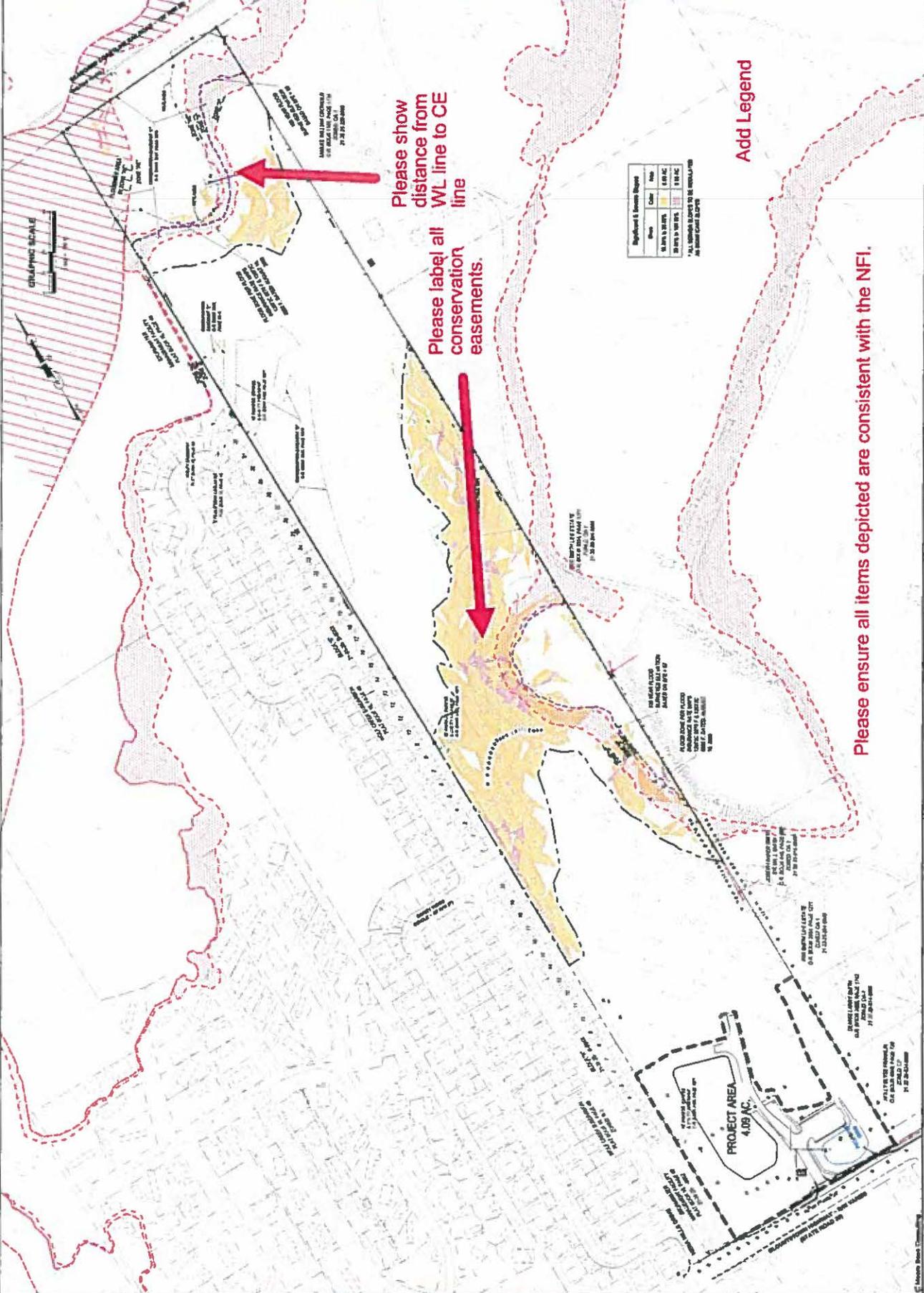
Cultural Resource Assessment

A cultural resource assessment has been provided.

Exhibit 12

Environmental Impact Analysis Plan with Markups

Moore Bass CONSULTING ATTORNEYS	PROJECT NAME PROPOSED RECREATIONAL COMPLEXES ON BOUNTY DRIVE HIGHWAY	MB	SHEET NO. 5.0
	CLIENT NAME HILLTOP PROPERTIES, LLP		



Symbol	Color	Note
(Yellow)	1.00 AC	1.00 AC TO 1.00 AC
(Light Green)	1.00 AC	1.00 AC TO 1.00 AC
(Light Blue)	1.00 AC	1.00 AC TO 1.00 AC

*ALL SYMBOLS SHOULD BE CONSISTENT WITH THE NFI

Add Legend

Please show distance from WL line to CE line

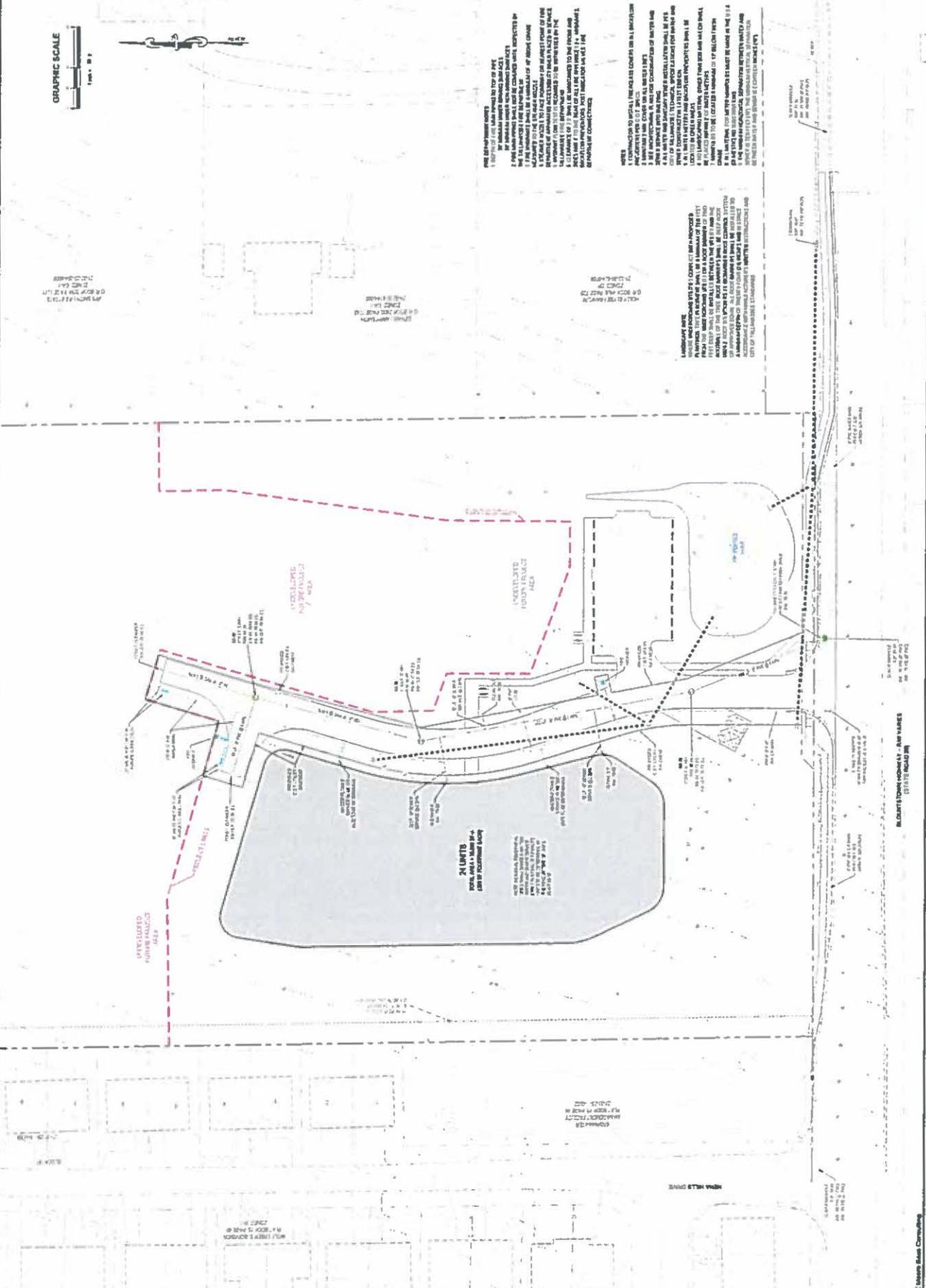
Please label all conservation easements.

Please ensure all items depicted are consistent with the NFI.

Exhibit 13

Concept Utility Plan dated January 12, 2016

	PROJECT NAME PROPOSED RESIDENTIAL DEVELOPMENT ON BLOUNTSTOWN HIGHWAY		SHEET NO. 6.0
	CLIENT NAME HILTOP PROPERTIES, LLP		SHEET TITLE CONCEPT UTILITY PLAN



MOORE BASS CONSULTING
 10000 W. BLOUNTSTOWN HIGHWAY
 BLOUNTSTOWN, FL 32010
 TEL: 904.261.1111
 FAX: 904.261.1112
 WWW.MOOREBASSCONSULTING.COM

Exhibit 14

Concept Water & Sewer Plan dated January 18-19, 2016

Moore Bass
CONSULTING
ATLANTA

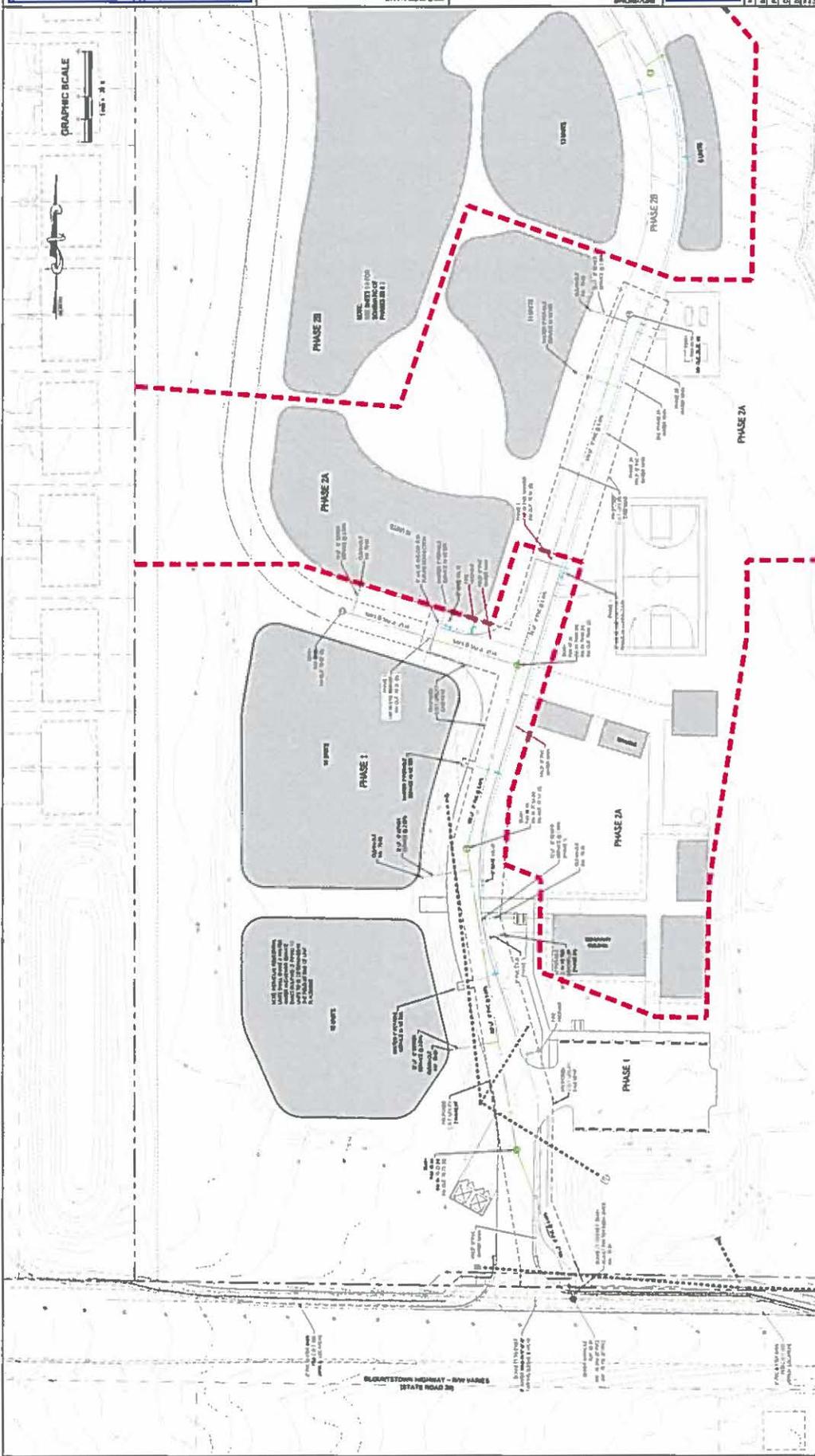
PROJECT NAME: PROPOSED RESIDENTIAL CONDOMINIUM ON ALBANY HIGHWAY
CLIENT NAME: HILTOP PROPERTIES, LLP

DATE:	10/11/11
SCALE:	AS SHOWN
PROJECT NO.:	11-00000000
CONTRACT NO.:	
DESIGNED BY:	
CHECKED BY:	
APPROVED BY:	



PHASE TITLE: PHASE 1 & 2A
CONCEPT: WATER 6
SHEET PLAN: 187

2.0
SHEET



GENERAL NOTES:

1. ALL UTILITIES SHOWN ARE BASED ON THE MOST RECENT RECORD DRAWINGS AND FIELD SURVEY DATA. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. ALL UTILITIES SHALL BE PROTECTED AND DEEPLY REPAIRED OR REPLACED AS NECESSARY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ATLANTA.
4. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF ATLANTA SPECIFICATIONS.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
6. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF ATLANTA SPECIFICATIONS.
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10. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF ATLANTA SPECIFICATIONS.

PHASE 1 & 2A NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ATLANTA.
2. ALL UTILITIES SHALL BE PROTECTED AND DEEPLY REPAIRED OR REPLACED AS NECESSARY.
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GRAPHIC SCALE
1" = 20'

Exhibit 15

Comments submitted from Hosey to Hood dated January 14, 2016

Hosey, Justin

From: Hosey, Justin
Sent: Thursday, January 14, 2016 9:46 AM
To: 'Ben Hood'
Cc: Kessler, Bruce
Subject: RE: Blountstown Condo.

Ben,

WRE comments are as follows:

- A Letter of Agreement (LOA) will be required prior to construction.
- Provide the required checklist, calculations, and fire flow test results for review.
- Add a location map to the plan.
- Concept plan approval requires a master utility plan for the property showing how the future phases will be served with water and sewer. Phase lines should be included.
- The proposed water main should be located on the north/east sides of the road per the utility placement guide.
- Provide separate housing location bubbles for each master meter showing the total number of units per meter.
- Relocate the water meters out of the proposed stormwater swale and adjust the easement as required.
- Label the size of all water services /meters and show the required valve on service line.
- Add a gate valve to the proposed water main between the two master meter locations.
- Remove the cleanout labels on the 8-inch sewer main stubs and relabel as a cap with EMS marker.

Conditional site plan approval can be granted prior to meeting the above comments. Please provide a revised PDF for review prior to submitting hard copies for approval. Contact me if you have any questions.

Thanks,

Justin D. Hosey, PE, LEED AP

Program Engineer
City of Tallahassee – Underground Utilities
Water Resources Engineering Division
408 North Adams Street (Physical)
300 South Adams Street, B-26 (Mail)
Tallahassee, Florida 32301
Work: 850-891-6182 ~ Cell: 850-694-8005
Email: justin.hosey@talgov.com

From: Ben Hood [<mailto:bhood@moorebass.com>]
Sent: Tuesday, January 12, 2016 12:49 PM
To: Hosey, Justin
Cc: Kessler, Bruce
Subject: Blountstown Condo.

Justin,

We are submitting a County Type A site plan tomorrow for the Blountstown Condo project we meet on several weeks ago. The scope of the project has been reduced to include only 24 units near the front of the property. The concept is to

Exhibit 16

Fire Flow Calculations dated January 25, 2016

Blountstown Condo

Occupancy Classification: Residential Commercial

Florida Building Code Construction Type: II-B

Number of Floors: 1

Fire Area per Floor: 390

The Fire Area is the floor area in square feet used to determine the required fire flow. It is determined based on the floor area within the surrounding exterior walls and fire separation walls used to create separate buildings.

Total Fire Area: (check one)

Total Fire Area = Fire Area per floor (x) number of floors 390

Type IA or Type IB construction: Total Fire Area = Fire Area per floor (x) area of the three largest successive floors _____.

The fire flow GPM from the attached table is 1500 gpm for 2 hours flow duration.

Reductions:

75% if building is protected throughout by an approved automatic sprinkler system but not less than 1000 GPM.

Required fire flow GPM _____ minus 75% = _____ or 1000 GPM

75% if building is protected throughout by an approved automatic sprinkler system using quick response sprinkler throughout but not less than 600 GPM.

Required fire flow GPM _____ minus 75% = _____ or 600 GPM

REQUIRED FLOW TEST DATA

1. Map showing location of proposed building, flow hydrant(s) and static/residual pressures.
2. Date and Time of flow test.
3. Name of company conducting flow test and witnesses to flow test.
4. Static and residual PSI from static/residual hydrant(s).
5. Flow in GPM from flow hydrant(s)/PSI at flow from flow hydrant(s).



Blountstown Condo
Community Bldg

Occupancy Classification: Residential Commercial

Florida Building Code Construction Type: II-B

Number of Floors: 1

Fire Area per Floor: 5000

The Fire Area is the floor area in square feet used to determine the required fire flow. It is determined based on the floor area within the surrounding exterior walls and fire separation walls used to create separate buildings.

Total Fire Area: (check one)

Total Fire Area = Fire Area per floor (x) number of floors 5000

Type IA or Type IB construction: Total Fire Area = Fire Area per floor (x) area of the three largest successive floors _____.

The fire flow GPM from the attached table is 1500 gpm for 2 hours flow duration.

Reductions:

75% if building is protected throughout by an approved automatic sprinkler system but not less than 1000 GPM.

Required fire flow GPM _____ minus 75% = _____ or 1000 GPM

75% if building is protected throughout by an approved automatic sprinkler system using quick response sprinkler throughout but not less than 600 GPM.

Required fire flow GPM _____ minus 75% = _____ or 600 GPM

REQUIRED FLOW TEST DATA

1. Map showing location of proposed building, flow hydrant(s) and static/residual pressures.
2. Date and Time of flow test.
3. Name of company conducting flow test and witnesses to flow test.
4. Static and residual PSI from static/residual hydrant(s).
5. Flow in GPM from flow hydrant(s)/PSI at flow from flow hydrant(s).

REQUIRED FIRE FLOW INFORMATION
NFPA 1, 18.4.1.1, 2009 EDITION

Table 18.4.5.1.2 Minimum Required Fire Flow and Flow Duration for Buildings

Fire Flow Area ft ²					Fire Flow GPM†	Flow Duration (Hours)
I(443), I(332), II(222)*	II(111), III(211)*	IV(2HH), V(111)*	II(000), III(200)*	V(000)*		
0-22,700	0-12,700	0-8200	0-5900	0-3600	1500	2
22,701-30,200	12,701-17,000	8201-10,900	5901-7900	3601-4800	1750	2
30,201-38,700	17,001-21,800	10,901-12,900	7901-9800	4801-6200	2000	2
38,701-48,300	21,801-24,200	12,901-17,400	9801-12,600	6201-7700	2250	2
48,301-59,000	24,201-33,200	17,401-21,300	12,601-15,400	7701-9400	2500	2
59,001-70,900	33,201-39,700	21,301-25,500	15,401-18,400	9401-11,300	2750	2
70,901-83,700	39,701-47,100	25,501-30,100	18,401-21,800	11,301-13,400	3000	Available Flow = 2723 gpm
83,701-97,700	47,101-54,900	30,101-35,200	21,801-25,900	13,401-15,600	3250	
97,701-112,700	54,901-63,400	35,201-40,600	25,901-29,300	15,601-18,000	3500	
112,701-128,700	63,401-72,400	40,601-46,400	29,301-33,500	18,001-20,600	3750	3
128,701-145,900	72,401-82,100	46,401-52,500	33,501-37,900	20,601-23,300	4000	4
145,901-164,200	82,101-92,400	52,501-59,100	37,901-42,700	23,301-26,300	4250	4
164,201-183,400	92,401-103,100	59,101-66,000	42,701-47,700	26,301-29,300	4500	4
183,401-203,700	103,101-114,600	66,001-73,300	47,701-53,000	29,301-32,600	4750	4
203,701-225,200	114,601-126,700	73,301-81,100	53,001-58,600	32,601-36,000	5000	4
225,201-247,700	126,701-139,400	81,101-89,200	58,601-65,400	36,001-39,600	5250	4
247,701-271,200	139,401-152,600	89,201-97,700	65,401-70,600	39,601-43,400	5500	4
271,201-295,900	152,601-166,500	97,701-106,500	70,601-77,000	43,401-47,400	5750	4
Greater than 295,900	Greater than 166,500	106,501-115,800	77,001-83,700	47,401-51,500	6000	4
		115,801-125,500	83,701-90,600	51,501-55,700	6250	4
		125,501-135,500	90,601-97,900	55,701-60,200	6500	4
		135,501-145,800	97,901-106,800	60,201-64,800	6750	4
		145,801-156,700	106,801-113,200	64,801-69,600	7000	4
		156,701-167,900	113,201-121,300	69,601-74,600	7250	4
		167,901-179,400	121,301-129,600	74,601-79,800	7500	4
		179,401-191,400	129,601-138,300	79,801-85,100	7750	4
		Greater than 191,400	Greater than 138,300	Greater than 85,100	8000	4

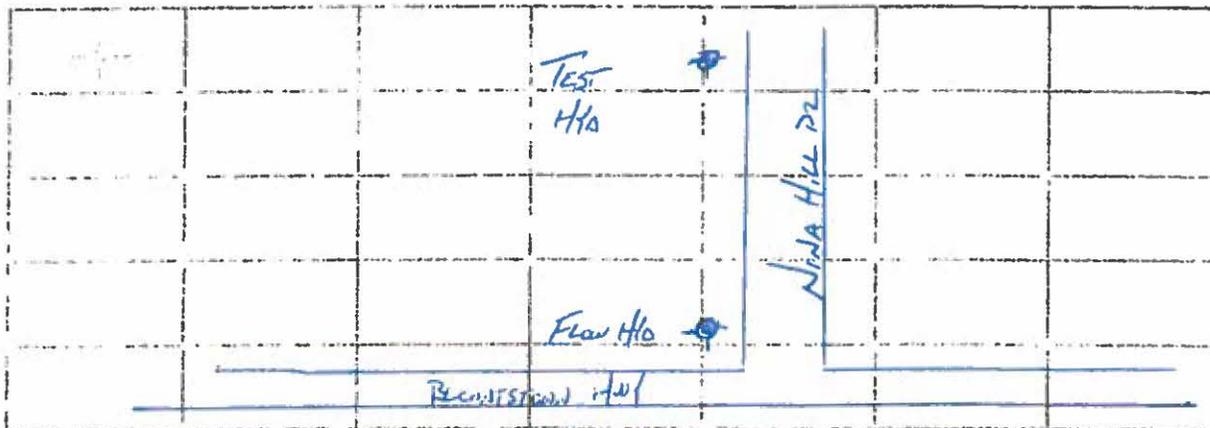
*Types of construction are based on NFPA 220

†Measured at 20 psi (139.9 kPa)

FLOW TEST INFORMATION SHEET



1. Reason for Test: Bid Information Design Base
Other Requested
2. Location of Property Blountstown Hwy & Nena Hills Dr- Tallahassee, Florida
(Address) (City) (State) (County)
3. Date & Time of Test: Date: 01/25/16 Time: 10:00 (am) (pm)
4. Test Conducted by: Brandon Padgett Sprinkler Design DACAR Fire Protection
Name Title Affiliation
5. Test Witnessed by: Steve Walker Water Department City of Tallahassee
Name Title Affiliation
6. Source of Water Supply: Gravity Pump Other: _____
7. Name of Water District Tallahassee Fire District Tallahassee
8. Is water supply provided with PRV STA's Yes No
(If so what is PRV outlet setting? _____ PSIG)
9. Area Map: (Draw Sketch showing property location; bounding streets and names, north arrow, hydrant locations and identification numbers, distances from hydrants to property elevations of hydrants and property floors or grade, all water mains and sizes and interconnection valves, etc.)



10. Flow Test Data

FLOW AT HYDR. NO.	STATIC AT HYDR. NO.	STATIC PSIG	RESIDUAL PSIG	FLOW GPM	OUTLET COEFFICIENT	ADJUSTED GPM
		100 psi	75 psi	75 psi	.9	1453 gpm

11. See reverse side for graph

12. Signed [Signature]

Witness _____



Outlet Square and projecting into Barrel Coef. 0.70



Outlet Square and Sharp Coef. 0.80



Outlet Smooth and Rounded Coef. 0.90

Water Supply Curve (Manual Input of ALL Data)

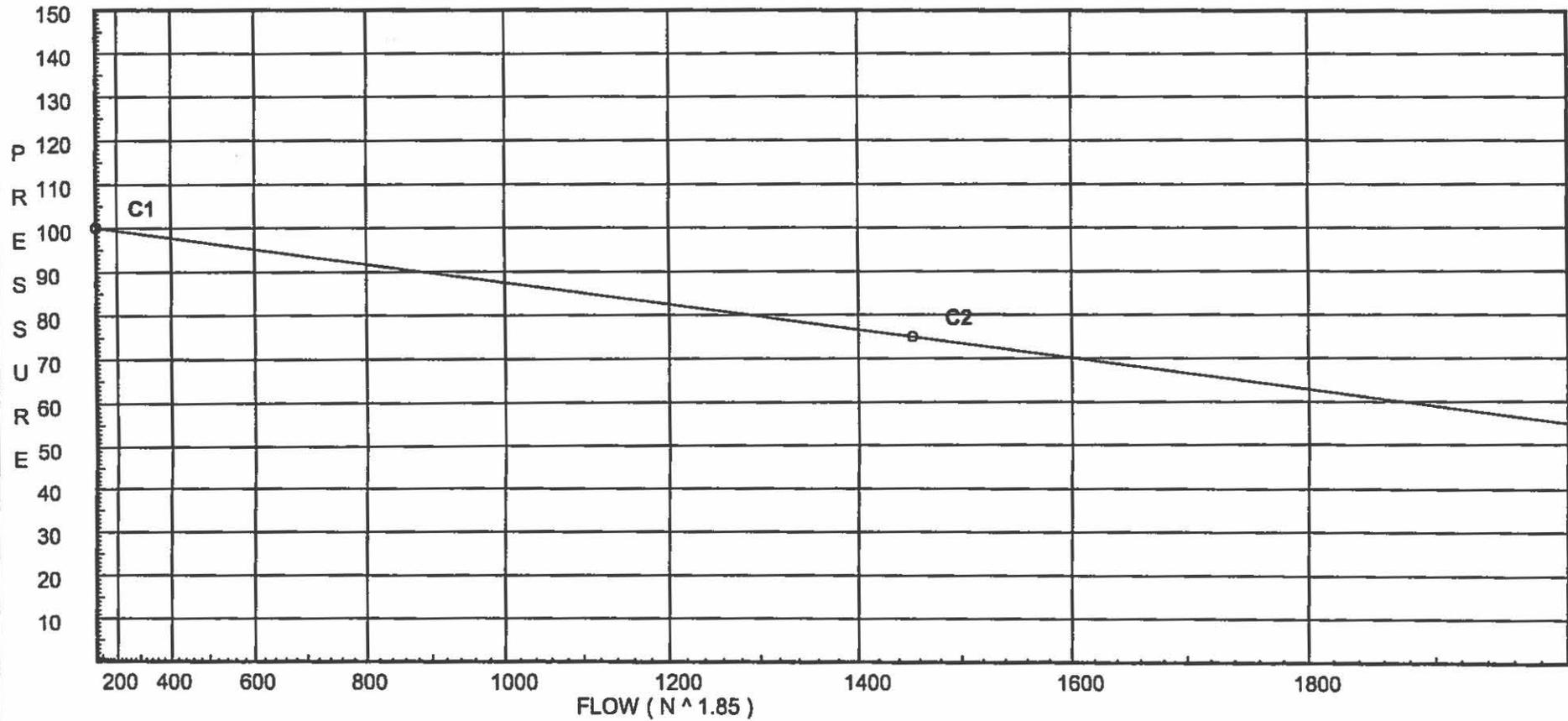
DACAR Fire Protection
Blountstown&NinaHill

0

City Water Supply:

C1 - Static Pressure : 100
C2 - Residual Pressure: 75
C2 - Residual Flow : 1453

D1 - Elevation : -0.433
D2 - System Flow : _____
D2 - System Pressure : _____
Hose (Demand) : _____
D3 - System Demand : _____
Safety Margin : _____



Available Fire Flow

Project: Blountstown Condo
 MBC JOB#: 554.096



Hydrant Test Data				Desired Residual (P _{Desired})	Pressure Drop to Desired Residual (H _r)	Pressure Drop During Hydrant Test (H _t)	Flow @ Desired Residual Pressure (Q _{Desired})
Location =	Nina hills Dr						
Date of Test =	2/25/2016						
Q _{TEST} =	1453 GPM	@ 75 Psi		20 Psi	80 Psi	25 Psi	2723 GPM
Static Pressure (P _{STATIC}) =	100 Psi						
Residual Pressure (P _{RESIDUAL}) =	75 Psi						

Flow Eqn.: $Q_{DESIRED} = Q_{TEST} * (h_r^{0.54} / h_t^{0.54})$

Where: Q_{DESIRED} = Flow available at desired residual pressure.

Q_{TEST} = Flow during hydrant test.

$h_r = \text{Pressure drop to desired residual pressure} \quad (h_r = P_{STATIC} - P_{DESIRED})$

$h_t = \text{Pressure drop during hydrant test} \quad (h_t = P_{STATIC} - P_{RESIDUAL})$

Exhibit 17

Notice of Intent to File a Petition for Formal Proceedings
before a Hearing Officer

LEON COUNTY DEPARTMENT OF DEVELOPMENT SUPPORT
AND ENVIRONMENTAL MANAGEMENT
NOTICE OF INTENT TO FILE A PETITION FOR FORMAL PROCEEDINGS
BEFORE A HEARING OFFICER

LMS1600195

For Appeals of a Limited Partition or Type "A" or "B" Site and Development Plan

THIS NOTICE MUST BE FILED WITH THE LEON COUNTY DEPARTMENT OF DEVELOPMENT SUPPORT AND ENVIRONMENTAL MANAGEMENT, DEVELOPMENT SERVICES DIVISION, WITHIN FIFTEEN (15) WORKING DAYS AFTER THE DECISION WAS MADE. NOTICES MUST BE DELIVERED TO THE DEPARTMENT OF DEVELOPMENT SUPPORT AND ENVIRONMENTAL MANAGEMENT, DEVELOPMENT SERVICES DIVISION, 435 NORTH MACOMB STREET, TALLAHASSEE, FL 32301, TOGETHER WITH A NONREFUNDABLE FILING FEE OF \$90.00 (ADD \$30.00 FOR EACH ADDITIONAL PERSON JOINING IN THE NOTICE) PAYABLE TO LEON COUNTY.

1. Name: J.P. Lopez AND CAROL Smith AND ^{MICHAEL + ELIZABETH}
Address: 267 John Knox Rd, Ste 113 ^{URBAN}
Telephone Number: 850-443-4057 Facsimile Number: 850-254-7141

2. The undersigned hereby gives notice of intent to file a petition for formal proceedings regarding the following project: Residential Condominiums of Blounttown Hwy.
Project ID # LSP160001

A PARTY FILING A NOTICE OF INTENT TO FILE A PETITION FOR FORMAL PROCEEDING MUST COMPLETE THE APPLICATION BY FILING A PETITION FOR FORMAL PROCEEDING BEFORE A HEARING OFFICER WITHIN THIRTY (30) CALENDAR DAYS AFTER THE DECISION IN QUESTION IS RENDERED. FAILURE TO COMPLETE THE APPLICATION WITHIN THE SPECIFIED THIRTY (30) DAY PERIOD WILL RENDER THE DECISION FINAL. APPEALS ARE HEARD BY A HEARING OFFICER AND ARE CONDUCTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN SECTION 10-1485 OF THE LEON COUNTY CODE OF ORDINANCES. APPEALS OF THE HEARING OFFICER'S DECISION ARE REVIEWABLE BY THE CIRCUIT COURT.

3. THE PERSON FILING THIS NOTICE IS (CHECK ONE BELOW):

- The Applicant The local government with jurisdiction
 A person who will suffer an adverse effect to an interest protected by the Comprehensive Plan

4. STATE THE BASIS FOR SEEKING A FORMAL PROCEEDING Use additional sheets if necessary. You must allege how the proposed project violates the ordinances of Leon County.

Please see attached addendum.

If you are not the applicant, state how you will be affected by the decision. Use additional sheets if necessary. To be entitled to initiate a formal proceeding you must show that you will suffer an adverse effect which exceeds in degree the general interest in community good shared by all persons);

Please see attached addendum.

I CERTIFY THAT I HAVE READ THE ABOVE INFORMATION AND THAT ALL THE INFORMATION PROVIDED IN THIS NOTICE IS CORRECT.

J.P. Lopez
SIGNATURE
Carol S. Smith

2/17/16
DATE NOTICE IS FILED

2/17/16

Amendment: Notice of Intent to File a Petition for Formal Proceedings

Name: J.P. Lepez

Project: Residential Condominiums of Blountstown Highway

As directed by the attached form I am using a separate sheet.

3. Please allow time to obtain counsel in search of proper injunctive relief. The rapidness of this application and its acceptance does not give parties that could be affected geographically or monetarily proper time to review county ordinances, let alone plan and organize.

In the meanwhile, as per Sec. 10-7.610, states:

If a proposed plat contains streets, roads, alleys, rights-of-way, common areas, utility, conservation and drainage or other easements not dedicated to the public, the applicant, prior to plat approval, shall file with the county attorney certified copies of the executed and filed articles of incorporation and the bylaws of a homeowners' or property owners' association, or other corporate entity, together with restrictive covenants applicable to the property, approved by the county attorney as to form, content, and manner of execution, providing enforceable assessment procedures for financing the maintenance of the streets or roads, alleys, rights-of-way, common areas and facilities, utility and drainage or other easements. The plat shall not be submitted to the Board of County Commissioners until the articles, bylaws, and restrictive covenants have been approved as to form and manner of execution by the county attorney.

I have not seen this document in the online project documents nor have I found filing with the Leon County Clerk of Court. These documents would provide light as to what this project consists of and what rules would apply to the condominium dweller. As such, I ask the planning committee and the Commission to delay any formal decisions until such documents can be carefully reviewed.

4. Developer has stated that this development is exclusively aimed at low-income, transitioning occupants. The project may not only house sexual offenders and other criminal elements but may actually be marketed towards them. The developer seems to be obfuscating the intention of the project in terms of whether they are going to be sold, rented, partially rented, time-shared or otherwise.

Though the developer has notified the county that these are condominiums, they are actually "tiny houses" whose low values will have a significant impact on any current and future residential development. Such projects which can promote the proliferation of vagrancy and criminality must have the attention and input of the many taxpaying homeowners and business owners within the corridor.

**LEON COUNTY DEPARTMENT OF DEVELOPMENT SUPPORT
AND ENVIRONMENTAL MANAGEMENT
NOTICE OF INTENT TO FILE A PETITION FOR FORMAL PROCEEDINGS
BEFORE A HEARING OFFICER**

For Appeals of a Limited Partition or Type "A" or "B" Site and Development Plan

THIS NOTICE MUST BE FILED WITH THE LEON COUNTY DEPARTMENT OF DEVELOPMENT SUPPORT AND ENVIRONMENTAL MANAGEMENT, DEVELOPMENT SERVICES DIVISION, WITHIN FIFTEEN (15) WORKING DAYS AFTER THE DECISION WAS MADE. NOTICES MUST BE DELIVERED TO THE DEPARTMENT OF DEVELOPMENT SUPPORT AND ENVIRONMENTAL MANAGEMENT, DEVELOPMENT SERVICES DIVISION, 435 NORTH MACOMB STREET, TALLAHASSEE, FL 32301, TOGETHER WITH A NONREFUNDABLE FILING FEE OF \$90.00 (ADD \$30.00 FOR EACH ADDITIONAL PERSON JOINING IN THE NOTICE) PAYABLE TO LEON COUNTY.

1. Name: Michael J. + Elizabeth M. URBAN
Address: 1931 Sika Deer Ln. Tallahassee, FL 32304
Telephone Number: 850-575-6645 Facsimile Number: NA

2. The undersigned hereby gives notice of intent to file a petition for formal proceedings regarding the following project: RESIDENTIAL CONDOS PROPOSED FOR 5044 BLAUNT ST NW by type "A" site plan project id: LSP 16 0001
A PARTY FILING A NOTICE OF INTENT TO FILE A PETITION FOR FORMAL PROCEEDING MUST COMPLETE THE APPLICATION BY FILING A PETITION FOR FORMAL PROCEEDING BEFORE A HEARING OFFICER WITHIN THIRTY (30) CALENDAR DAYS AFTER THE DECISION IN QUESTION IS RENDERED. FAILURE TO COMPLETE THE APPLICATION WITHIN THE SPECIFIED THIRTY (30) DAY PERIOD WILL RENDER THE DECISION FINAL. APPEALS ARE HEARD BY A HEARING OFFICER AND ARE CONDUCTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN SECTION 10-1485 OF THE LEON COUNTY CODE OF ORDINANCES. APPEALS OF THE HEARING OFFICER'S DECISION ARE REVIEWABLE BY THE CIRCUIT COURT.

3. THE PERSON FILING THIS NOTICE IS (CHECK ONE BELOW):

- The Applicant The local government with jurisdiction
 A person who will suffer an adverse effect to an interest protected by the Comprehensive Plan

4. STATE THE BASIS FOR SEEKING A FORMAL PROCEEDING Use additional sheets if necessary. You must be allege how the proposed project violates the ordinances of Leon County.

AT THE HEARING ON JAN 27, 2016 UNDER QUESTIONING BY THE UNDERSIGNED, THE APPLICANT ADMITTED THAT THIS PROJECT WAS NOT A TYPICAL SCRUB PROJECT IN WHICH

If you are not the applicant, state how you will be affected by the decision. Use additional sheets if necessary. To be entitled to initiate a formal proceeding you must show that you will suffer an adverse effect which exceeds in degree the general interest in community good shared by all persons):

WE ARE RESIDENTS IN AN ACTUAL CONDO COMMUNITY, DREAM TREE HILLS THAT IS WITHIN 600 FT OF THE PROPOSED PROJECT. OUR COMMUNITY WAS MANY

I CERTIFY THAT I HAVE READ THE ABOVE INFORMATION AND THAT ALL THE INFORMATION PROVIDED IN THIS NOTICE IS CORRECT.

Michael J. Urban
SIGNATURE
Elizabeth M. Urban

Feb 17, 2016
DATE NOTICE IS FILED

Xtra Page 1

4. 1st paragraph continued...
the residents would purchase the individual residential units and own the unit and the land on which it was placed.

they stated that the 24 units were going to be owned by the applicant and were going to be 400sq ft units designed for short term rentals to very low income single males and they could not guarantee the individuals might include known sex offenders or other convicted felons,

4. 2nd paragraph continued...
small children in it. There is a community park at the entry to the community for these children to play. This proposed project would place its targeted population access to this park. Since the targeted population of the project would most ~~not~~ likely not have cars and the project is not on public transportation routes, these individuals, 24 at first and 194 at full build out would be wandering the neighborhood.

Not only would this produce a real danger for the women and

Xtra Page 2

4. 2nd paragraph cont. . . .
children in our community, but
would also cause severe devaluation
of our property values.

Without an adequate INCREASE in
county provided POLICE protection,
we would have to arm ourselves
and put up barbed wire fencing around
OUR COMMUNITY

LEON COUNTY DEPARTMENT OF DEVELOPMENT SUPPORT
AND ENVIRONMENTAL MANAGEMENT
NOTICE OF INTENT TO FILE A PETITION FOR FORMAL PROCEEDINGS
BEFORE A HEARING OFFICER

For Appeals of a Limited Partition or Type "A" or "B" Site and Development Plan

THIS NOTICE MUST BE FILED WITH THE LEON COUNTY DEPARTMENT OF DEVELOPMENT SUPPORT AND ENVIRONMENTAL MANAGEMENT, DEVELOPMENT SERVICES DIVISION, WITHIN FIFTEEN (15) WORKING DAYS AFTER THE DECISION WAS MADE. NOTICES MUST BE DELIVERED TO THE DEPARTMENT OF DEVELOPMENT SUPPORT AND ENVIRONMENTAL MANAGEMENT, DEVELOPMENT SERVICES DIVISION, 435 NORTH MACOMB STREET, TALLAHASSEE, FL 32301, TOGETHER WITH A NONREFUNDABLE FILING FEE OF \$90.00 (ADD \$30.00 FOR EACH ADDITIONAL PERSON JOINING IN THE NOTICE) PAYABLE TO LEON COUNTY.

1. Name: CAROL SMITH
Address: 5229 BLOUNTS TOWN HWY
Telephone Number: 850-321-1594 Facsimile Number: _____

2. The undersigned hereby gives notice of intent to file a petition for formal proceedings regarding the following project: ID# LSP160001 ; 5044 BLOUNTS TOWN HWY CONDO

A PARTY FILING A NOTICE OF INTENT TO FILE A PETITION FOR FORMAL PROCEEDING MUST COMPLETE THE APPLICATION BY FILING A PETITION FOR FORMAL PROCEEDING BEFORE A HEARING OFFICER WITHIN THIRTY (30) CALENDAR DAYS AFTER THE DECISION IN QUESTION IS RENDERED. FAILURE TO COMPLETE THE APPLICATION WITHIN THE SPECIFIED THIRTY (30) DAY PERIOD WILL RENDER THE DECISION FINAL. APPEALS ARE HEARD BY A HEARING OFFICER AND ARE CONDUCTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN SECTION 10-1485 OF THE LEON COUNTY CODE OF ORDINANCES. APPEALS OF THE HEARING OFFICER'S DECISION ARE REVIEWABLE BY THE CIRCUIT COURT.

3. THE PERSON FILING THIS NOTICE IS (CHECK ONE BELOW):

The Applicant The local government with jurisdiction
 A person who will suffer an adverse effect to an interest protected by the Comprehensive Plan

4. STATE THE BASIS FOR SEEKING A FORMAL PROCEEDING Use additional sheets if necessary. You must be allege how the proposed project violates the ordinances of Leon County.

WE WERE NOT ADVISED prior to the meeting that this project is APPEALING to very poor single men, AND that MR OSTEEN could not guarantee that these residents to be "were not convicted sex offenders"

If you are not the applicant, state how you will be affected by the decision. Use additional sheets if necessary. To be entitled to initiate a formal proceeding you must show that you will suffer an adverse effect which exceeds in degree the general interest in community good shared by all persons):

I am AFRAID for my personal safety + the safety of those that live around me.

I CERTIFY THAT I HAVE READ THE ABOVE INFORMATION AND THAT ALL THE INFORMATION PROVIDED IN THIS NOTICE IS CORRECT.

Carol P. Smith
SIGNATURE

2/17/16
DATE NOTICE IS FILED

Exhibit 18

Legal Notice of Final Hearing on April 27-28, 2016



Legal Notices

To Place A Legal Notice • Call (8

**CITY OF MARIANNA
REQUEST FOR PROPOSALS
NOTICE TO BIDDERS
BID NUMBER:
RFQ NO. 2016-01**

The Marianna City Commission is seeking sealed proposals from interested and qualified consultant firms in the State of Florida with Engineering Design experience in the Aviation Field, as well as Construction and Engineering Inspection Services, in the Aviation Field, on a Continuing Contract basis. It is the intent of the City to select and negotiate an agreement with a firm or firms to perform these services required by the City for various municipal airport projects. The selected firm(s) shall serve as the City of Marianna's Airport Design Engineer and/or Construction and Engineering Inspection Services (CEI) consultant for projects as they are assigned. The City desires a firm that has proven ability and is capable of designing and administering construction contracts; inspecting construction work and activities; ensuring completion of construction as required by City of Marianna, Federal, and State standards, plans and specifications; meeting permitting and other applicable agency requirements; invoicing timely and accurately; and handling all FDOT EEO, Wages, DBE and OJT filing, interviewing and other requirements in a timely and responsible manner. Proposals will be received until 2:00 p.m., May 10, 2016 in the City Clerk's Office, City Hall, 2898 Green Street, P.O. Box 936, Marianna, FL 32447 and opened at 2:00 p.m. in the City Commission Chambers at City Hall, 2898 Green Street, Marianna, Florida 32446. Proposals submitted after this time will not be considered. Scope of Services may be obtained from the Public Works Director, City Hall, 2898 Green Street, Marianna, FL 32446 or by calling (850) 482-4129. Specific questions related to the services should be directed to Joe Richey, Public Works Director at (850) 482-4129. Email requests for RFQ packages will be accepted and are recommended. It is the responsibility of the proposer to verify receipt of their request. Proposals will not be valid if not sealed in an envelope marked "SEALED PROPOSAL" and identified by the name of the firm or individual, proposal number and time of opening. The Marianna City Commission reserves the right to reject any one proposal or all proposals, any part of any proposal, to waive any informality in any proposal, and to award the purchase in the best interest of the City.

EEO/AA
Proposals will be accepted only from parties which are free of obligations and interests, which might conflict with the best interest of the City and are professionally qualified to perform the work described in this Request for Proposal. All proposals received from proposers in response to this request for proposal will become property of the City of Marianna and will not be returned to proposer. By submitting a proposal, the proposer certifies that

**THE SCHOOL BOARD OF
LEON COUNTY**
Announces a meeting of the Capital Outlay Committee:
TIME: April 14, 2016, 9:00 am
PLACE: 3397 W. Tharpe Street
PURPOSE: Capital Outlay Meeting
For further information, please contact:
Facilities and Construction Office
Leon County Schools
850-617-5907
PUBLICATION: April 12, 2016

**NOTICE UNDER FICTITIOUS
NAME LAW PURSUANT
TO SECTION 865.09,
FLORIDA STATUTES**
NOTICE IS HEREBY GIVEN that the undersigned, desiring to engage in business under the Fictitious Name of KWIKEE, with a mailing address of 626 W. Main St., Ste. 500, Louisville, KY 40202, and a principal office located in Leon County, intends to register the said name with the FL Dept. of State, Div. of Corps., Tallahassee, FL. Owner: SOUTHERN GRAPHIC SYSTEMS, LLC
Publication: Apr. 12, 2016

NOTICE OF HEARING
Notice is hereby given that a Hearing will be held on April 27-28, 2016, beginning at 9:00 a.m., at the State of Florida Division of Administrative Hearings (DOAH), located at the DeSoto Building, 1230 Apalachee Parkway, Tallahassee, Florida, in the cause styled as Wolf Creek Homeowners Association, J.P. Lepez, Carol Smith, Michael Urban, and Elizabeth Urban vs. Leon County Department of Development Support and Environmental Management and Floresta, LLC, Case No. 16-1278. The purpose of the proceeding is to hear the appeal of the decision by the Leon County Department of Development Support and Environmental Management to conditionally approve a site and development plan proposed by Floresta, LLC, for a residential condominium development consisting of "tiny houses" ranging from approximately 288 square feet to 390 square feet, to be located off Blountstown Highway. The hearing is open to the public.

In accordance with the Americans with Disabilities Act, persons needing a special accommodation to attend this proceeding should contact the Administrative Services Director at the Division of Administrative Hearings (DOAH) no later than seven days prior to the hearing. Telephone: (850) 488-9675, 1-800-955-8771 (TTY), 1-800-955-8770 (voice), or 711 via Florida Relay Service.
Publication: April 12, 2016

**CITY OF MARIANNA
REQUEST FOR PROPOSALS
NOTICE TO BIDDERS
BID NUMBER:
RFQ NO. 2016-03**

The Marianna City Commission is seeking sealed proposals from interested and qualified consultant firms in the State of Florida with experience in Engineering Design as well as Construction and Engineering Inspection Services on a Continuing Contract basis. It is the intent of the City to select and negotiate an agreement with multiple firms to perform these services required by the City for various road construction, utilities, and other types of City projects. The selected firms shall serve as the City of Marianna's Design Engineer and/or Construction and Engineering Inspection Services (CEI) consultant for projects as they are assigned. The City desires a firm that has proven ability and is capable of designing and administering construction contracts; inspecting construction work and activities; ensuring completion of construction as required by City of Marianna, Federal, and State standards, plans and specifications; meeting permitting and other applicable agency requirements; invoicing timely and accurately; and handling all FDOT EEO, Wages, DBE and OJT filing, interviewing and other requirements in a timely and responsible manner. Proposals will be received until 2:00 p.m., May 10, 2016 in the City Clerk's Office, City Hall, 2898 Green Street, P.O. Box 936, Marianna, FL 32447 and opened at 2:00 p.m. in the City Commission Chambers at City Hall, 2898 Green Street, Marianna, Florida 32446. Scope of Services may be obtained from the Public Works Director, City Hall, 2898 Green Street, Marianna, FL 32446 or by calling (850) 482-4129. Specific questions related to the services should be directed to Joe Richey, Public Works Director at (850) 482-4129. Proposals will not be valid if not sealed in an envelope marked "SEALED PROPOSAL" and identified by the name of the firm or individual, proposal number and time of opening. The Marianna City Commission reserves the right to reject any one proposal or all proposals, any part of any proposal, to waive any informality in any proposal, and to award the purchase in the best interest of the City.

EEO/AA
Proposals will be accepted only from parties which are free of obligations and interests, which might conflict with the best interest of the City and are professionally qualified to perform the work described in this Request for Proposal. All proposals received from proposers in response to this request for proposal will become property of the City of Marianna and will not be returned to proposer. By submitting a proposal, the proposer certifies that he/she has fully read and understands the Request for Proposal and has full knowledge of the scope, nature and quality of work to be performed.
Publication: Apr. 12, 19, 2016

Exhibit 19

Public Speakers at Final Hearing on April 27, 2016

Speaker Card

Wolf Creek Homeowners' Association, Inc.,
et al., v. Leon County and Floresta, LLC

Speaker's Name: TERESA RAMSOOK

Speaker's Address: P.O. BOX 5352
TLH, FL 32314

Speaker Card

Wolf Creek Homeowners' Association, Inc.,
et al., v. Leon County and Floresta, LLC

Speaker's Name: JULIE NEECE

Speaker's Address: 4792 Blountstown Hwy
Tallahassee FL 32304

Speaker Card

Wolf Creek Homeowners' Association, Inc.,
et al., v. Leon County and Floresta, LLC

Speaker's Name: Dorci Cordle

Speaker's Address: 1688 Corey Wood Cr.
Tallahassee
* 34 Cordle Rd. DeFuriaK Sops. FL 32433

Speaker Card

Wolf Creek Homeowners' Association, Inc.,
et al., v. Leon County and Floresta, LLC

Speaker's Name: Yolanda Robles

Speaker's Address: 1897 Nena Hills Dr
TLH 32304

Speaker Card

Wolf Creek Homeowners' Association, Inc.,
et al., v. Leon County and Floresta, LLC

Speaker's Name: Sharon O'Leary

Speaker's Address: 2022 NENA Hills
Wolf Creek

Speaker Card

Wolf Creek Homeowners' Association, Inc.,
et al., v. Leon County and Floresta, LLC

Speaker's Name: JOE ^{Smith} Smith

Speaker's Address: 1700 Smithys
Tallahassee FL WAY