

LEON COUNTY JAIL ANNEX REROOF

LEON COUNTY BOARD OF COUNTY COMMISSIONERS

TALLAHASSEE, FLORIDA

VICINITY MAP



AERIAL PHOTO



535 APPELYARD DRIVE
TALLAHASSEE, FLORIDA
32304

SCOPE OF WORK

BRIEFLY AND WITHOUT FORCE AND EFFECT UPON THE CONTRACT DOCUMENTS, THE WORK OF THE CONTRACT CAN BE SUMMARIZED AS FOLLOWS:

REROOFING WORK AT THE LEON COUNTY JAIL ANNEX INCLUDES REMOVING THE EXISTING GRAVEL COVERED ROOFING AND FLASHING SYSTEM DOWN TO THE EXISTING LIGHTWEIGHT INSULATING CONCRETE DECK. PREPARING THE EXISTING LIGHTWEIGHT DECK, MECHANICALLY FASTEN A REINFORCED BASE SHEET AND INSTALL A REINFORCED MODIFIED BITUMEN MEMBRANE INTERPLY SHEET, TWO PLY MINERAL SURFACED MODIFIED BITUMEN MEMBRANE ROOFING SYSTEM WITH ALUMINUM FOIL FACE FLASHING SYSTEM. THE SYSTEM SHALL BE INSTALLED TO MEET FM 1-110 WIND UPLIFT REQUIREMENTS AND HAVE AN UL CLASS "A" RATING IN COMPLIANCE WITH THE CURRENT FLORIDA BUILDING CODE AND THE ROOFING MANUFACTURER'S RECOMMENDATIONS TO PROVIDE A ROOFING MANUFACTURER'S 25 YEAR NDLS SYSTEM WARRANTY. THE WORK ALSO INCLUDES INSTALLING PREFINISHED ALUMINUM COUNTERFLASHING AND SOLDERED STAINLESS STEEL SCUPPERS. THE EXISTING METAL PARAPET COPING IS TO BE SALVAGED, CLEANED AND REINSTALLED AT THE CONCLUSION OF THE REROOFING PROCESS TO INCLUDE RESEALING ALL JOINTS.

ADDITIVE ALTERNATE ONE: INCLUDES INSTALLING HIGH SOLAR REFLECTANCE INDEX (SRI) CAP SHEET AND FLASHING IN LIEU OF MINERAL SURFACED CAP SHEET AND FOIL FACE FLASHING. SRI SHALL NOT BE LESS THAN 78 WHEN CALCULATED ACCORDING TO ASTM 1980 INITIAL.

ADDITIVE ALTERNATE TWO: INCLUDES INSTALLING NEW PREFABRICATED PREFINISHED ALUMINUM PARAPET COPING WITH SEALED JOINTS IN LIEU OF SALVAGING, CLEANING AND REINSTALLING THE EXISTING METAL COPING.

ADDITIVE / DEDUCTIVE UNIT COSTS: THE FOLLOWING UNIT COSTS ARE INCLUDED IN THE SCOPE OF WORK:

LIGHTWEIGHT CONCRETE REPLACEMENT (200 SF INCLUDED IN BASE BID) \$ _____/105F

DISCLAIMER

THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MLD ARCHITECTS INC. AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACT DOCUMENTS WERE PREPARED FOR THE USE ON THIS SPECIFIC SITE IN CONJUNCTION WITH ITS ISSUE DATE AND ARE NOT SUITABLE FOR USE ON A DIFFERENT SITE OR AT A LATER TIME. USE OF THESE DRAWINGS FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THE CONTRACT DOCUMENTS FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED.

ELECTRONIC DISTRIBUTION OF THESE DOCUMENTS IS NOT AUTHORIZED, UNLESS SPECIFICALLY APPROVED BY PROJECT ARCHITECT IN WRITING.

BUILDING AND FIRE CODES

FLORIDA BUILDING CODE, (FBC-B) 2010 EDITION
FLORIDA EXISTING BUILDING CODE, (FBC-EB) 2010 EDITION
FLORIDA MECHANICAL CODE, (FBC-M) 2010 EDITION
FLORIDA FUEL GAS CODE, (FBC-FG) 2010 EDITION
FLORIDA PLUMBING CODE, (FBC-P) 2010 EDITION
FLORIDA FIRE PREVENTION CODE, (FFPC) 2010 EDITION
FLORIDA ACCESSIBILITY CODE (FAC), 2010 EDITION
NATIONAL ELECTRICAL CODE, (NEC) 2008 EDITION
ASCE STANDARD 7 (ANCE-45.8.1) (STRUCTURAL WIND LOAD CRITERIA)

FLORIDA PRODUCT APPROVAL

AS REQUIRED BY FLORIDA STATUTE 553.842 AND FLORIDA ADMINISTRATIVE CODE 9B-72, PROVIDE INFORMATION AND PRODUCT APPROVAL NUMBER(S) ON THE BUILDING COMPONENTS UTILIZED ON THE CONSTRUCTION PROJECT REQUIRING PERMITTING AFTER APRIL 1, 2004. REFER TO WWW.FLORIDA.BUILDING.ORG FOR MORE INFORMATION.

DRAWING INDEX

G100 TITLE SHEET
A000 ROOFING SCHEDULES & NOTES
A100 ROOF PLAN
A300 PHOTOS
A500 DETAILS

CONSULTANTS

LEON COUNTY JAIL ANNEX REROOF
LEON COUNTY BOARD OF COUNTY
COMMISSIONERS
TALLAHASSEE, FLORIDA

PROJ. NO. 104112
DATE 11/16/2012
DRAWN TR
CHECKED RB
APPROVED RL
REVISED

MLD Architects, inc.
ARCHITECTURE - INTERIOR DESIGN - PLANNING
211 John Knox Road, Suite 105, Tallahassee, Florida 32303
(850) 322-3100 / Fax (850) 355-9200
mla@mldarchitects.com
www.MLDarchitects.com

100% SUBMITTAL

G100

GENERAL ROOFING NOTES

- THE EXISTING OVERALL ROOF PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ALL PROJECTIONS THROUGH ROOFS, AND ALL CONDITIONS.
- BEFORE SUBMITTING PROPOSAL FOR THE WORK, EACH BIDDER WILL BE HELD TO HAVE EXAMINED THE PREMISES AND SATISFIED HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE AND COMPLETE THE WORK UNDER THIS CONTRACT. NO ALLOWANCE WILL BE MADE SUBSEQUENTLY IN THIS CONNECTION ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.
- NORMAL OPERATIONS OF THE FACILITY SHALL CONTINUE DURING DEMOLITION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE WORK WITH ALL SUBCONTRACTORS AND SEQUENCE DEMOLITION AND CONSTRUCTION TO MINIMIZE INTERRUPTIONS TO NORMAL OPERATIONS OF THE FACILITY.
- ALL PROPOSED INTERRUPTIONS TO OPERATIONS, SERVICES AND EQUIPMENT SHALL BE REVIEWED WITH AND APPROVED BY THE OWNER PRIOR TO STARTING SUCH WORK. UNLESS OTHERWISE APPROVED IN WRITING, ONLY WEEKEND OR EVENING INTERRUPTIONS ON UTILITIES SHALL BE APPROVED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXIT WAYS CLEAR. WHERE AN EXIT MUST BE TEMPORARILY BLOCKED, CONTRACTOR SHALL PROVIDE THE REQUIRED BARRICADES AND DIRECTIONAL SIGNS FOR TEMPORARY EXITING AND SAFETY.
- CONTRACTOR SHALL ERECT AND MAINTAIN ALL REASONABLE SAFEGUARDS FOR SAFETY AND HEALTH INCLUDING POSTING DANGER SIGNS, AND OTHER WARNING AGAINST HAZARDS, AS WELL AS PROMULGATING SAFETY REGULATIONS.
- CONTRACTOR SHALL BE RESTRICTED TO AREAS SPECIFIED BY THE OWNER FOR ON SITE STORAGE OF CONSTRUCTION MATERIALS. COMPARTMENT TRAILERS OR SIMILAR PROTECTIVE STORAGE FACILITIES MAY BE UTILIZED ON SITE TO SECURE ALL EQUIPMENT AND ITEMS REMOVED DURING PROJECT WORK. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND SECURITY OF ALL EQUIPMENT AND ITEMS REMOVED.
- CONTRACTOR SHALL TAKE CARE TO DISTRIBUTE LOAD OF EQUIPMENT AND MATERIALS ON ROOF DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR'S RESPONSIBILITY NOT TO EXCEED DESIGN LOAD OF EXISTING ROOF STRUCTURE. CONTRACTOR SHALL NOT USE ANY ROOF AREA OUTSIDE AREA OF THE WORK AND COMPLETED ROOF AREAS FOR STORAGE, STAGING, OR WORKING.
- CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING SURFACES AND SHALL BE RESPONSIBLE FOR RETURNING ALL DISTURBED SOIL AND REPAIR ALL DAMAGED AREAS (MATERIALS, FINISHES, LANDSCAPING, ETC.) TO THEIR ORIGINAL CONDITION. SURFACES SHALL BE REPAIRED TO MATCH THE EXISTING ADJACENT UNDAUNAGED SURFACES. ALL DISTURBED AREAS OF SOIL TO BE SOEDED. ALL PLANTING REPLACEMENT TO BE GUARANTEED FOR ONE YEAR.
- CONTRACTOR SHALL MAINTAIN A CLEAN WORK PREMISE AT ALL TIMES AND SHALL CLEAN CONSTRUCTION SITE OF ALL DEBRIS DAILY AND AT COMPLETION OF THE JOB AND BEFORE FINAL PAYMENT IS MADE.
- DUE TO THE NATURE OF THE FACILITY, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SPECIAL SECURITY MEASURES AT THE JOBSITE. ALL TOOLS, MATERIALS, EQUIPMENT, ETC. SHALL BE SECURED. SECURITY PROCEDURES WILL BE REVIEWED AT THE PRE-CONSTRUCTION CONFERENCE.
- CONTRACTOR SHALL INSPECT THE EXISTING ROOF DECK SUBSTRATE, AND COMPENSATE FOR ANY UNEVEN, IRREGULAR CONDITIONS. THE CONTRACTOR SHALL SHAVE AREAS OF LIGHTWEIGHT CONCRETE DECK TO PROVIDE ADEQUATE POSITIVE DRAINAGE.
- CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER AT THE ASPHALT KETTLE (MINIMUM 25 LB ABC) AND AT EACH TORCH, OR OPEN FLAME, ON THE ROOF.
- CONTRACTOR SHALL MAINTAIN ASPHALT TEMPERATURE STRICTLY WITHIN THE MANUFACTURER'S GUIDELINES. THE ASPHALT KETTLE (OR TANKER) SHALL HAVE AN OPERATING THERMOMETER, AND THE CONTRACTOR SHALL PROVIDE A HAND HELD THERMOMETER ON THE JOBSITE AT ALL TIMES. IN THE EVENT THE KETTLE FLASHES, FOR WHATEVER REASON, THE ENTIRE CONTENTS OF THE KETTLE, OR TANKER SHALL BE DISCARDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER INTRUSION AND WATER DAMAGE TO THE BUILDING INTERIOR FOLLOWING EXISTING MEMBRANE TEAR-OFF.
- ALL NEW ROOFING MEMBRANE, MEMBRANE FLASHING, AND ROOF ACCESSORIES PROVIDED BY ROOFING MANUFACTURER SHALL BE CONSIDERED A "ROOFING SYSTEM" AND SHALL PROVIDE A UL CLASS 'A' FIRE RATING AND F.M. 1-90 WIND UPLIFT CLASSIFICATION.
- ALL FLASHING SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS, AND COMPLY WITH RECOMMENDED DETAILS OF NRCA ROOFING AND WATERPROOFING MANUAL AND ARCHITECTURAL SHEET METAL MANUAL, BY THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC. (SMACNA).
- ROOFING MANUFACTURER TO PROVIDE SPECIFIED 25 YEAR WARRANTY, WITH NON PRORATED, NO PENAL SUM, AND NO DOLLAR LIMIT WARRANTY TO INCLUDE THE ROOF SYSTEM.
- ALL INDICATED EQUIPMENT SHALL BE RAISED AND REINSTALLED ON THE ROOF IN THEIR EXISTING LOCATIONS ON RAISED CURBS OR STANDS AS DETAILED UNLESS OTHERWISE NOTED. ALL THE EQUIPMENT CURBS AND V.T.R.'S SHALL BE A MINIMUM OF 1'0" ABOVE THE SURROUNDING FINISHED ROOF DECK.
- CONTRACTOR SHALL SEPARATE ALL DISSIMILAR METALS WITH ASPHALT COATING.
- JOINT SEALANT MANUFACTURERS TO PROVIDE 20 YEAR WARRANTY ON SILICONE JOINT SEALANT AND 5 YEAR WARRANTY ON POLYURETHANE JOINT SEALANT.
- CONTRACTOR AND INSTALLER SHALL PROVIDE 2 YEAR UNLIMITED LABOR AND MATERIAL WARRANTY ON MEMBRANE ROOFING SYSTEMS AND JOINT SEALANT.
- ALL WORK SHALL COMPLY WITH APPLICABLE OSHA AND E.P.A. REGULATIONS AND GUIDELINES.
- ALL WORK SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2010 EDITION.
- CONTRACTOR SHALL LIST AN EMERGENCY TELEPHONE NUMBER WHERE HE OR SHE MAY BE REACHED 24 HOURS A DAY, SEVEN DAYS A WEEK, DURING THE ENTIRE PERIOD OF CONTRACT TIME. THIS TELEPHONE NUMBER SHALL BE PROVIDED AT THE PRECONSTRUCTION CONFERENCE.

EXISTING CONDITIONS

THE EXISTING ROOF STRUCTURE IS CONSTRUCTED OF LOOSE GRAVEL DISTRIBUTED OVER A SINGLE PLY (W.R. GRACE GRM-500) ROOFING MEMBRANE AND MEMBRANE FLASHING SYSTEM INSTALLED ON A TAPERED INSULATING LIGHTWEIGHT CONCRETE DECK ON A STRUCTURAL CONCRETE ROOF DECK.

ROOF FASTENER PULL TEST #1
ROOF COMPOSITION (FROM TOP DOWN)
LOOSE GRAVEL
SINGLE PLY MEMBRANE
LIGHTWEIGHT CONCRETE
TEST RESULTS - 1.7" NVS FASTENER PULL 46#5

ROOF FASTENER PULL TEST #12
ROOF COMPOSITION (FROM TOP DOWN)
LOOSE GRAVEL
SINGLE PLY MEMBRANE
LIGHTWEIGHT CONCRETE
TEST RESULTS - 1.7" NVS FASTENER PULL 68#5

DEMOLITION NOTES

CAUTION: CONTRACTOR TO PROVIDE WORKER SAFETY BARRICADES AT ROOF EDGES IN ACCORDANCE WITH OSHA REGULATIONS.

- CONTRACTOR SHALL FIELD VERIFY ALL THE ITEMS TO BE REMOVED AS INDICATED ON THE PLANS WITHIN THE WORK AREA. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND RENOVATION AS REQUIRED FOR NEW WORK.
- CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH MECHANICAL, PLUMBING, AND ELECTRICAL SUBCONTRACTORS. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS IN INSTALLING THE ROOFING SYSTEM WITHOUT DAMAGING ROOFTOP EQUIPMENT OR CONNECTIONS.
- REMOVE ALL VTR FLASHING, EDGE FLASHING, COUNTERFLASHING, SCUPPERS, AND MEMBRANE FLASHING. CAREFULLY REMOVE EXISTING METAL COPING, NUMBER AND CATALOG EACH SECTION FOR REINSTALLATION.
- REMOVE EXISTING WET OR DETERIORATED ROOF MATERIALS INCLUDING GRAVEL ROOF MEMBRANES, FLASHING DOWN TO THE EXISTING TAPERED LIGHTWEIGHT ROOF DECK.
- PATCH, CLEAN AND PREPARE ROOF DECK TO RECEIVE NEW ROOFING SYSTEM. ALLOW DAMP LIGHTWEIGHT CONCRETE TO DRY AS LONG AS POSSIBLE (MINIMUM 4 HOURS).
- BASE BID TO INCLUDE REMOVAL/REPLACEMENT OF 200SF OF DETERIORATED LIGHTWEIGHT CONCRETE. CONTRACTOR TO PROVIDE AN ADDITIVE/DEDUCTIVE UNIT COST (\$____/SF) PER SF FOR LIGHTWEIGHT CONCRETE REPLACEMENT WITH ZONOPATCH OR ZONDOLIGHT PREMIX LIGHTWEIGHT CONCRETE.
- EXISTING EXHAUST FANS/VENTS ARE TO BE TEMPORARILY REMOVED, RAISED, AND REINSTALLED ON RAISED CURBS OR PIPESTANDS AS REQUIRED ABOVE NEW ROOF SYSTEM WITHOUT INTERRUPTION OF FACILITY OPERATIONS (UNLESS NOTED OTHERWISE).
- TEMPORARILY SHORE UP ALL EQUIPMENT LINES AT EXISTING LEVEL DURING CONSTRUCTION. TEMPORARILY DISCONNECT REFRIGERANT AND ELECTRICAL LINES TO EQUIPMENT AS REQUIRED TO RELOCATE/RAISE EQUIPMENT.
- CONTRACTOR TO PROTECT EQUIPMENT AND FINISHES BELOW ROOF DURING ROOFING OPERATION INVOLVING PENETRATION OF THE ROOFING SYSTEM OR OPENING OF ROOF DECK TO BELOW. EQUIPMENT AND FACILITY TO REMAIN OPERATIONAL AT ALL TIMES.

RENOVATION NOTES

- AFTER TEAR-OFF OF EXISTING GRAVEL AND ROOFING SYSTEM AND FLASHING, CLEAN THE EXISTING LIGHTWEIGHT DECK. CAREFULLY REMOVE EXISTING ALUMINUM COPING, SALVAGE FOR REINSTALLATION.
 - RAISE ALL EQUIPMENT SO THAT CURBS, PIPING, OR TOPS OF FLASHING ARE A MINIMUM OF 1'0" ABOVE THE FINISHED ROOF.
 - INSTALL REINFORCED BASE SHEET OVER LIGHTWEIGHT CONCRETE WITH FASTENING PATTERN TO MEET CLASS FM 1-110 WIND UPLIFT CRITERIA, APPROVED BY ROOFING MANUFACTURER. THE FASTENER DENSITY MUST BE INCREASED AT THE ROOF CORNERS AND PERIMETER (MINIMUM 12" WIDE AREA FROM PARAPET AND EDGES) FOR CLASS 1-110 AS RECOMMENDED BY FMRC LOSS PREVENTION. CONTRACTOR SHALL PERFORM A FASTENER PULLOUT RESISTANCE TEST AT 10 SQUARE INTERVALS.
 - INSTALL NEW SCUPPERS AT PERIMETER PARAPET EDGE IN PREVIOUS LOCATIONS AS DETAILED; INSTALL SOLDERED STAINLESS STEEL SCUPPER FLASHING WITH PREFINISHED ALUMINUM ESCUTCHEON PLATE SET IN FULL BED OF SEALANT. SEAL PERIMETER OF SCUPPER THROAT WITH PREMIUM SILICONE SEALANT.
 - INSTALL NEW PREFINISHED ALUMINUM COLLECTOR HEAD AND DOWNSPOUT SYSTEM AT SCUPPERS INDICATED. INSTALL CONCRETE BLOCKS AT DOWNSPOUT OUTFALL.
 - TORCH APPLY 2-PLY UL CLASS 'A' MINERAL SURFACED MODIFIED BITUMEN MEMBRANE ROOFING AND FLASHING SYSTEM ACCORDING TO ROOFING MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. CAP SHEET SHALL HAVE A MAXIMUM 1/4" BLEED OUT ALONG ALL EDGES. CONTRACTOR TO IMBED LOOSE MINERAL GRANULES IMMEDIATELY IN ADHESIVE BLEED OUT.
 - INSTALL MANUFACTURER'S LIQUID APPLIED REINFORCED FLASHING AT ALL ROOF PENETRATIONS AND ALL VTRS, SOLDERED STAINLESS STEEL OR COPPER UMBRELLA FLASHING AT ALL CONDUIT AND PIPE PENETRATIONS TO BE INCLUDED IN MANUFACTURER'S WARRANTY.
 - INSTALL 2-PLY FOIL FACED MODIFIED BITUMEN MEMBRANE FLASHING SYSTEM OVER CANT STRIPS UP TO CLEANED AND PRIMED EQUIPMENT CURBS AND STRIP FLASHING. COMPLY WITH ROOFING MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. PROVIDE TERMINATION BAR ON CURBS AT TOP EDGE OF MEMBRANE BASE FLASHING, FASTEN AT 8" O.C. AND SEAL TOP WITH URETHANE SEALANT. INSTALL ALUMINUM COUNTERFLASHING OVER TERMINATION BAR AND BASE FLASHING. FASTEN/PIN MAXIMUM 12" O.C., AND SEAL WITH SILICONE SEALANT.
- ADDITIVE ALTERNATE ONE: INCLUDES INSTALLING HIGH SOLAR REFLECTANCE INDEX (SRI) CAP SHEET AND FLASHING IN LIEU OF MINERAL SURFACED CAP SHEET AND FOIL FACE FLASHING. SRI SHALL NOT BE LESS THAN 78 WHEN CALCULATED ACCORDING TO ASTM 1980 INITIAL.
- SCRAPE ALL LOOSE RUST, CORROSION AND PAINT FROM ROOFTOP HVAC EQUIPMENT AND EXHAUST FANS. CLEAN, PRIME AND PAINT (2) COATS PREMIUM ACRYLIC PAINT.
 - INSTALL ROOFING MANUFACTURER'S WALK TREAD PROTECTIVE MEMBRANE ON THE ROOF EITHER SIDE OF EXHAUST FAN AND AT THE SERVICE ACCESS PANEL OF THE HVAC UNIT. COLOR OF THE WALK TREAD TO CONTRAST WITH CAPSHEET.
 - SAND, CLEAN, PRIME AND PAINT TWO COATS SALVAGED COPING METAL. REINSTALL SALVAGED METAL COPING IN ORIGINAL LOCATIONS. SEAL JOINTS WITH 2 STRIPS OF BUTYL TAPE ON BOTH SIDES OF NEW JOINT COVER CAP. SEAL EDGES AT PARAPET INTERSECTIONS AND STEP UP WITH PREMIUM SILICONE SEALANT.

ADDITIVE ALTERNATE TWO: INCLUDES INSTALLING NEW PREFABRICATED PREFINISHED ALUMINUM PARAPET COPING WITH SEALED JOINTS IN LIEU OF SALVAGING, CLEANING AND REINSTALLING THE EXISTING METAL COPING.

LEGEND

	PARAPET WALL		SLOPE
	EXHAUST FAN		ROOF CORE
	ROOF HVAC CURB		SCUPPER
	VTR		PARAPET MOUNTED SECURITY LIGHTING
	DETAIL MARKER		CHIMNEY FLUE
			PHOTO MARKER

ROOFING MECHANICAL NOTES

- PRIOR TO BIDDING, FIELD VERIFY ALL MECHANICAL MODIFICATIONS FOR ROOFING WORK.
- CONTRACTOR SHALL INITIALLY TEST ALL APPLICABLE MECHANICAL EQUIPMENT WITHIN 14 DAYS OF NTP. CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT AND CONTRACTING OFFICER OF ANY NON-OPERATING EQUIPMENT.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK OF ALL SUBCONTRACTORS.
- TAKE CARE NOT TO DAMAGE EXISTING EQUIPMENT AND REPAIR TO MATCH EXISTING CONDITIONS AS REQUIRED.
- TEMPORARILY SHORE UP EXHAUST FANS, AND FAN UNITS, CONDENSING UNITS. EXTEND DUCT, CONDUIT, ELECTRICAL WIRE, CONTROL WIRING, AND ASSOCIATED PIPE AS REQUIRED. RAISE CURBS, INSTALL NEW P.T. WOOD CURBS TO REQUIRED HEIGHT FROM NEW ROOF DECK ELEVATION. ANCHOR CURB EXTENSION AND RAISED EQUIPMENT TO MEET CURRENT WIND LOAD ANCHORAGE REQUIREMENT. SEE MECHANICAL AND ELECTRICAL SPECIFICATIONS. CONTRACTOR SHALL PLAN BEFORE COMMENCING THE WORK AND COORDINATE ANY INTERRUPTION OF FACILITY OPERATIONS WITH THE CONTRACTING OFFICER.
- TEMPORARILY SHUT DOWN, CAP OR COVER OUTSIDE AIR INTAKE VENTS, IN AREAS OF WORK. TAKE REQUIRED PRECAUTIONS TO AVOID HOT ASPHALT AND ADHESIVE FUMES ENTERING BUILDING. CAREFULLY COORDINATE INTERRUPTION OF EQUIPMENT WITH OWNER 72 HOURS PRIOR TO INTERRUPTION.

ROOFING ELECTRICAL NOTES

- PRIOR TO BIDDING, FIELD VERIFY ALL ELECTRICAL MODIFICATIONS FOR ROOFING WORK.
- CONTRACTOR SHALL INITIALLY TEST ALL APPLICABLE ELECTRICAL SYSTEMS WITHIN 14 DAYS OF NTP. CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OF NON-OPERATIONAL SYSTEMS.
- DISCONNECT, REROUTE, EXTEND AND RECONNECT CONDUITS TO ALLOW FOR ELECTRICAL, TELECOMMUNICATION/ DATA CONNECTION AS REQUIRED. PROVIDE NEW CONDUIT AND WIRE FROM THE EXISTING JUNCTION BOX TO THE CONNECTION POINT.
- CONTRACTOR SHALL, UPON COMPLETION OF WORK, ENSURE ALL CIRCUITS ADJACENT TO THE ROOFING WORK AREAS ARE IN PROPER WORKING CONDITIONS.
- CONTRACTOR SHALL COORDINATE WORK WITH ELECTRICAL WORK. CONTRACTOR SHALL REROUTE ALL ROOFTOP CONDUIT ELECTRICAL, CONTROL, SECURITY LIGHTING, AND COMMUNICATION CABLE SERVICE ABOVE NEW ROOF SYSTEM AS REQUIRED. VERIFY AND CONFIRM WITH OWNER TO REMOVE ALL ABANDONED ELECTRICAL.

CONSULTANTS

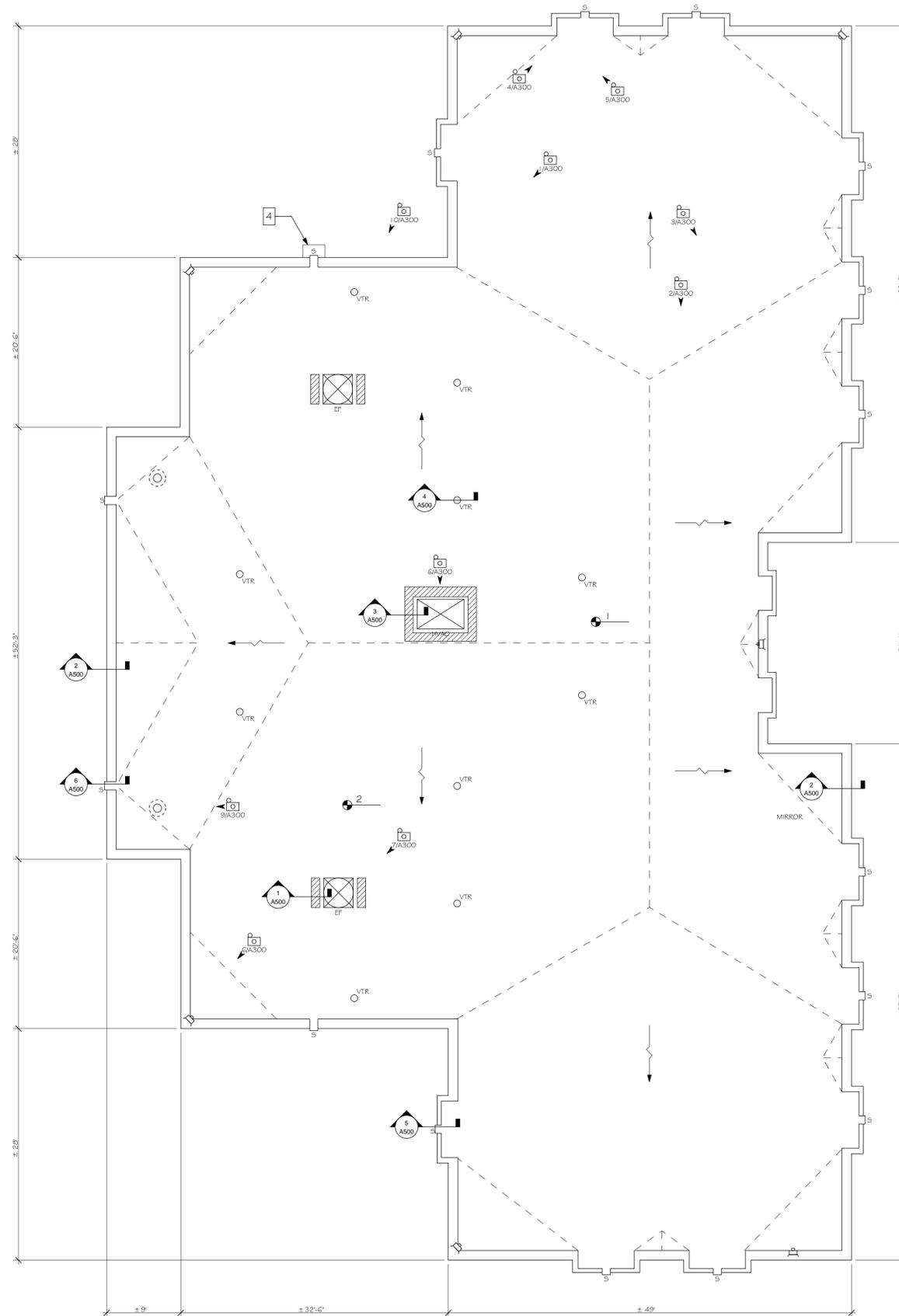
LEON COUNTY JAIL ANNEX REROOF
LEON COUNTY BOARD OF COUNTY
COMMISSIONERS
TALLAHASSEE, FLORIDA

PROJ. NO.	104112
DATE	11/16/2012
DRAWN	TR
CHECKED	FB
APPROVED	RL
REVISED	

MLD Architects, inc.
ARCHITECTURE - INTERIOR DESIGN - PLANNING
211 John Knox Road, Suite 105, Tallahassee, Florida 32303
(850) 422-3140 Fax
(850) 365-9200
mld@mldarkitects.com
www.MLDarkitects.com

100% SUBMITTAL

A000



LEGEND

	PARAPET WALL		SLOPE
	EXHAUST FAN		ROOF CORE
	ROOF HVAC CURB		SCUPPER
	VTR		PARAPET MOUNTED SECURITY LIGHTING
	DETAIL MARKER		CHIMNEY FLUE
	WALK TREAD		PHOTO MARKER

WORK NOTES

- 1 REMOVE EXISTING GRAVEL AND ROOFING MEMBRANE DOWN TO LIGHTWEIGHT DECK. REPLACE DAMAGED LIGHTWEIGHT CONCRETE AS REQUIRED. NAIL REINFORCED BASE SHEET TO MEET WIND UPLIFT REQUIREMENTS AND INSTALL NEW 2-PLY CLASS 'A' MINERAL SURFACE MODIFIED BITUMEN MEMBRANE ROOFING AND FLASHING SYSTEM.
ADDITIVE ALTERNATE ONE - INSTALL HIGH SRI CAP SHEET IN LIEU OF MINERAL SURFACE CAP SHEET.
- 2 INSTALL MANUFACTURER'S LIQUID APPLIED REINFORCED FLASHING AT ALL ROOF PENETRATIONS AND ALL VTRS. SOLDERED STAINLESS STEEL OR COPPER UMBRELLA FLASHING AT ALL CONDUIT AND PIPE PENETRATIONS TO BE INCLUDED IN MANUFACTURER'S WARRANTY.
- 3 INSTALL NEW SCUPPERS AT PERIMETER PARAPET EDGE IN PREVIOUS LOCATIONS AS DETAILED; INSTALL SOLDERED STAINLESS STEEL SCUPPER FLASHING WITH PREFINISHED ALUMINUM ESCUTCHEON PLATE SET IN FULL BED OF SEALANT. SEAL PERIMETER OF SCUPPER THROAT WITH PREMIUM SILICONE SEALANT.
- 4 INSTALL NEW PREFINISHED ALUMINUM COLLECTOR HEAD AND DOWNSPOUT SYSTEM AT SCUPPERS INDICATED. INSTALL CONCRETE BLOCKS AT DOWNSPOUT OUTFALL.
- 5 SCRAPE ALL LOOSE RUST, CORROSION AND PAINT FROM ROOFTOP HVAC EQUIPMENT AND EXHAUST FANS. CLEAN, PRIME AND PAINT (2) COATS PREMIUM ACRYLIC PAINT.
- 6 SAND, CLEAN, PRIME AND PAINT TWO COATS SALVAGED COPING METAL. REINSTALL SALVAGED METAL COPING IN ORIGINAL LOCATIONS. SEAL JOINTS WITH 2 STRIPS OF BUTYL TAPE ON BOTH SIDES OF NEW JOINT COVER CAP. SEAL EDGES AT PARAPET INTERSECTIONS AND STEP UP WITH PREMIUM SILICONE SEALANT.
ADDITIVE ALTERNATE TWO - INCLUDES INSTALLING NEW PREFABRICATED PREFINISHED ALUMINUM PARAPET COPING WITH SEALED JOINTS IN LIEU OF SALVAGING, CLEANING AND REINSTALLING THE EXISTING METAL COPING.

CONSULTANTS

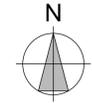
LEON COUNTY JAIL ANNEX REROOF
LEON COUNTY BOARD OF COUNTY
COMMISSIONERS
TALLAHASSEE, FLORIDA

PROJ. NO.	104112
DATE	11/16/2012
DRAWN	TR
CHECKED	RB
APPROVED	RL
REVISED	

MLD Architects, inc.
ARCHITECTURE - INTERIOR DESIGN - PLANNING
211 John Knox Road, Suite 105, Tallahassee, Florida 32303
(850) 322-3100 Fax (850) 385-9200
mld@mldarchitects.com www.MLDarchitects.com
AA0001281

1 ROOF PLAN
A100 SCALE: 1/8" = 1'-0"

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS INDICATED FROM OTHERS DOCUMENTATION.





1
A300



2
A300



3
A300



4
A300



5
A300



6
A300



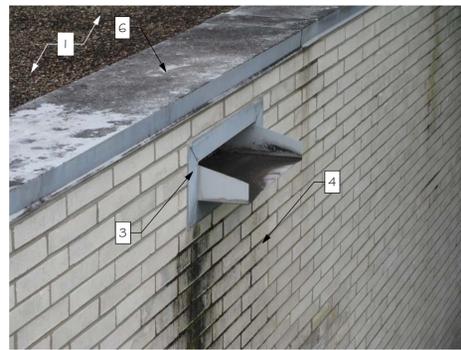
7
A300



8
A300



9
A300



10
A300



11
A300



12
A300

LEGEND

	PARAPET WALL		SLOPE
	EXHAUST FAN		ROOF CORE
	ROOF HVAC CURB		SCUPPER
	VTR		PARAPET MOUNTED SECURITY LIGHTING
	DETAIL MARKER		CHIMNEY FLUE
	WALK TREAD		PHOTO MARKER

WORK NOTES

- 1 REMOVE EXISTING GRAVEL AND ROOFING MEMBRANE DOWN TO LIGHTWEIGHT DECK. REPLACE DAMAGED LIGHTWEIGHT CONCRETE AS REQUIRED. NAIL REINFORCE BASE SHEET TO MEET WIND UPLIFT REQUIREMENTS AND INSTALL NEW 2-PLY CLASS 'A' MINERAL SURFACE MODIFIED BITUMEN MEMBRANE ROOFING AND FLASHING SYSTEM.
ADDITIVE ALTERNATE ONE - INSTALL HIGH SRI CAP SHEET IN LIEU OF MINERAL SURFACE CAP SHEET.
- 2 INSTALL MANUFACTURER'S LIQUID APPLIED REINFORCED FLASHING AT ALL ROOF PENETRATIONS AND ALL VTRS. SOLDERED STAINLESS STEEL OR COPPER UMBRELLA FLASHING AT ALL CONDUIT AND PIPE PENETRATIONS TO BE INCLUDED IN MANUFACTURER'S WARRANTY.
- 3 INSTALL NEW SCUPPERS AT PERIMETER PARAPET EDGE IN PREVIOUS LOCATIONS AS DETAILED; INSTALL SOLDERED STAINLESS STEEL SCUPPER FLASHING WITH PREFINISHED ALUMINUM ESCUTCHEON PLATE SET IN FULL BED OF SEALANT. SEAL PERIMETER OF SCUPPER THROAT WITH PREMIUM SILICONE SEALANT.
- 4 INSTALL NEW PREFINISHED ALUMINUM COLLECTOR HEAD AND DOWNSPOUT SYSTEM AT SCUPPERS INDICATED. INSTALL CONCRETE BLOCKS AT DOWNSPOUT OUTFALL.
- 5 SCRAPE ALL LOOSE RUST, CORROSION AND PAINT FROM ROOFTOP HVAC EQUIPMENT AND EXHAUST FANS. CLEAN, PRIME AND PAINT (2) COATS PREMIUM ACRYLIC PAINT.
- 6 SAND, CLEAN, PRIME AND PAINT TWO COATS SALVAGED COPING METAL. REINSTALL SALVAGED METAL COPING IN ORIGINAL LOCATIONS. SEAL JOINTS WITH 2 STRIPS OF BUTYL TAPE ON BOTH SIDES OF NEW JOINT COVER CAP. SEAL EDGES AT PARAPET INTERSECTIONS AND STEP UP WITH PREMIUM SILICONE SEALANT.
ADDITIVE ALTERNATE TWO - INCLUDES INSTALLING NEW PREFABRICATED PREFINISHED ALUMINUM PARAPET COPING WITH SEALED JOINTS IN LIEU OF SALVAGING, CLEANING AND REINSTALLING THE EXISTING METAL COPING.

CONSULTANTS

LEON COUNTY JAIL ANNEX REROOF
LEON COUNTY BOARD OF COUNTY
COMMISSIONERS
TALLAHASSEE, FLORIDA

PROJ. NO.	104112
DATE	11/16/2012
DRAWN	TR
CHECKED	RB
APPROVED	RL
REVISED	

MLD Architects, inc.
ARCHITECTURE - INTERIOR DESIGN - PLANNING
211 John Knox Road, Suite 105, Tallahassee, Florida 32303
(850) 322-3100 Fax
(850) 385-9200
www.MLDarchitects.com

100% SUBMITTAL
A300

PROJ. NO.	104112
DATE	11/16/2012
DRAWN	TR
CHECKED	RB
APPROVED	RL
REVISED	

MLD Architects, inc.
ARCHITECTURE - INTERIOR DESIGN - PLANNING
211 John Knox Road, Suite 105, Tallahassee, Florida 32303
(850) 422-3140 / Fax (850) 455-9200
mld@mldarchitects.com
www.MLDarchitects.com

