

EXISTING CONTOURS AND SPOT ELEVATIONS  
OBTAINED FROM TALLHASSEE-LEON COUNTY GIS.  
SEE SHEET S1.0 FOR FINISHED FLOOR ELEVATION.

**LEGEND**

- DW - DOMESTIC WATER LINE
- PVC - POLYVINYLCHLORIDE PIPE
- SS - SANITARY SEWER LINE
- E - ELECTRICAL LINE

**HATCH LEGEND**

NEW CONCRETE PAVEMENT

SEE SHEETS C1.2 AND S1.0  
FOR NOTES AND DETAILS

**SITE PLAN**

SCALE 1" = 20'



*Exception to Site Plan*  
**APPROVED BY:**  
*[Signature]*  
Development Services Division  
Date: 10/2/07  
LS1060072

24-31-20-606-0000  
OWNER - DANA PELHAM  
ZONED R-3 - SINGLE FAMILY DETACHED,  
ATTACHED AND 2 FAMILY RESIDENTIAL  
EXISTING LAND USE - VACANT

24-31-20-851-0000  
OWNER - LEON COUNTY  
ZONED R-3 - SINGLE FAMILY DETACHED,  
ATTACHED AND 2 FAMILY RESIDENTIAL  
EXISTING LAND USE - TOWER ROAD PARK

24-31-20-602-0000  
OWNER - TALQUIN ELECTRIC  
ZONED M-1 - LIGHT INDUSTRIAL  
EXISTING LAND USE - INDUSTRIAL

21-06-48-C-068-0  
OWNER - NATHAN W GODFREY  
ZONED RP - RESIDENTIAL PRESERVATION  
EXISTING LAND USE - SINGLE FAMILY RESIDENCE

21-06-48-C-067-0  
OWNER - JAMESIA R BROWN  
ZONED RP - RESIDENTIAL PRESERVATION  
EXISTING LAND USE - SINGLE FAMILY RESIDENCE

21-06-48-C-066-0  
OWNER - PATRICIA CHURCH  
ZONED RP - RESIDENTIAL PRESERVATION  
EXISTING LAND USE - SINGLE FAMILY RESIDENCE

**MODULAR BATHROOM BLDG**

SEE SHEET S1.0 FOR FINISHED FLOOR INFORMATION.  
BUILDING SHALL BE ORIENTED WITH BATHROOM/  
DOORS FACING EAST TOWARD EXISTING DIRT ROAD.



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**LEON COUNTY PARKS & RECREATION  
TOWER ROAD PARK  
MODULAR BUILDING  
TALLHASSEE, FLORIDA**

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DRAWN	BJR	REV.
CHECKED	WBR	REV.
JOB #	P04010.07	REV.
DATE	27 NOV 2008	REV.

SITE PLAN

C1.1

**GENERAL NOTES**

1. THE PROJECT SITE IS LOCATED AT 5971 TOWER ROAD WITHIN LEON COUNTY LIMITS. THE OVERALL PARCEL AREA IS 5.35 ACRES, LOCATED IN SECTION 31, TOWNSHIP 2 NORTH, RANGE 1 WEST IN LEON COUNTY, FLORIDA.
2. PROPOSED PROJECT: THE PROPOSED PROJECT INCLUDES THE CONSTRUCTION OF A 147 SQUARE FOOT MODULAR BATHROOM BUILDING CONCRETE SIDEWALK, AND UTILITIES. BUILDING SHALL BE ORIENTED WITH THE BATHROOM DOORS FACING EAST TOWARD THE EXISTING DIRT ROAD.
3. CONTOURS WHERE PROVIDED BY LEON COUNTY GIS. NO TOPOGRAPHIC SURVEY WAS OBTAINED OR USED IN THE PREPARATION OF THESE PLANS. LOCATIONS OF EXISTING SITE FEATURES SUCH AS PLAYGROUND, FENCES, WATER FOUNTAIN, UTILITIES, BENCH, HAVE BEEN APPROXIMATED.
4. BUILDING SHALL BE LOCATED ON EXISTING FLAT AREA SOUTH OF THE PLAYGROUND, EXISTING SITE CONDITIONS: THE SITE CONSISTS OF EXISTING BALLFIELDS, PLAYGROUND, AND PICNIC AREA.
5. THE PROJECT AREA IS BOUNDED BY TOWER ROAD TO THE NORTH, AN EXISTING DIRT ROAD TO THE EAST, AND VACANT LAND TO THE WEST AND SOUTH.
6. ACCESS TO THE SITE IS FROM AN EXISTING DIRT ROAD TO THE EAST.
7. FLOOD HAZARD: THE SITE IS LOCATED IN FLOOD ZONE "X" PER FEMA FIRM MAP COMMUNITY PANEL NUMBER 12073000950, DATED NOV 19, 1997.
8. THE OWNER SHALL OBTAIN A GEOTECHNICAL ENGINEER TO DETERMINE EXISTING SITE SOIL CONDITIONS PRIOR TO CONSTRUCTION.
9. CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY CONFLICTS WITH PROPOSED CONSTRUCTION.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING UTILITIES DURING CONSTRUCTION AND FOR CONTINUED UTILITY SERVICE TO THE EXISTING BUILDINGS DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES DAMAGED DURING CONSTRUCTION.
11. CONSTRUCTION SHALL BE IN ACCORDANCE WITH LEON COUNTY AND TALQUIN ELECTRIC COOPERATIVE, INC. STANDARDS.
12. ANY AREAS DISTURBED BY CONSTRUCTION SHALL BE RETURNED TO ORIGINAL, OR BETTER CONDITION (I.E. GRAVEL PAVEMENT, GRASSED AREAS, ETC.).
13. ALL DISTURBED AREAS NOT DESIGNATED TO BE PAVED SHALL BE SOODED IN ACCORDANCE WITH LEON COUNTY STANDARDS.

**EROSION CONTROL NOTES**

1. SILT FENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION.
2. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
3. MAINTENANCE STATEMENTS: "ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF THE DAY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE ISSUING AUTHORITY."
4. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLANS DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
5. ALL PERIMETER EROSION CONTROL DEVICES AND STORMWATER MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES. THE LOCATION OF SILT FENCE MAY REQUIRE ALTERING FROM THE LOCATIONS SHOWN ON THE DRAWING IF DRAINAGE PATTERNS DURING CONSTRUCTION DIFFER FROM THE FINAL GRADING PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION.
6. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONTINUOUSLY MAINTAINED BY THE CONTRACTOR DURING THE CONSTRUCTION PHASE OF THIS PROJECT. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
7. SILT FENCING SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR ONCE THE SITE IS STABILIZED AS DETERMINED BY THE ENGINEER.
8. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

**NOTES FOR HANDICAP ACCESSIBLE ROUTES AND ENTRIES**

1. CONCRETE SIDEWALK SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 1:20 AND A MAXIMUM CROSS SLOPE OF 1:50.
2. CHANGE IN FLOOR LEVEL AT DOORS SHALL NOT EXCEED 0.02 FEET.

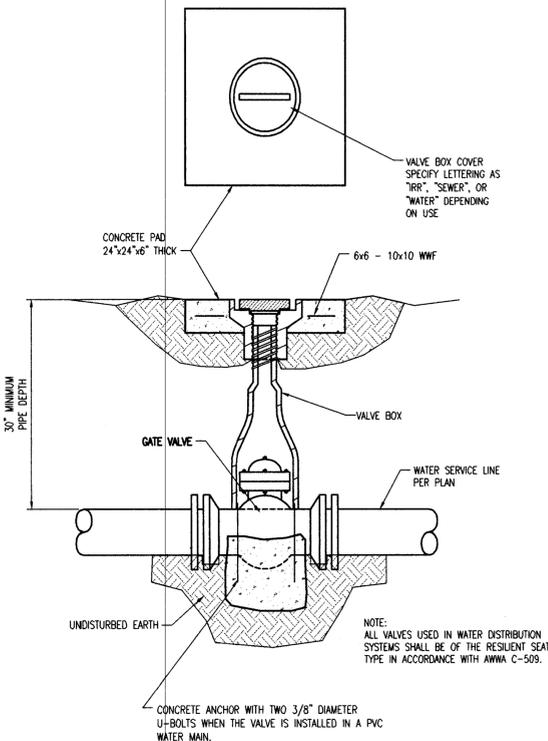
**SITE DATA**

1.0	PARCEL ID:	#24-31-20-851-0000
2.0	ZONING:	R-3
3.0	TOTAL SITE AREA:	4.56 AC
4.0	PROPOSED BLDG AREA:	147 SF = 0.0038 AC
	AS A % OF TOTAL SITE:	0.074%
5.0	PROPOSED IMPERVIOUS AREA:	627 SF = 0.0144 AC
	AS A % OF TOTAL SITE:	0.32%

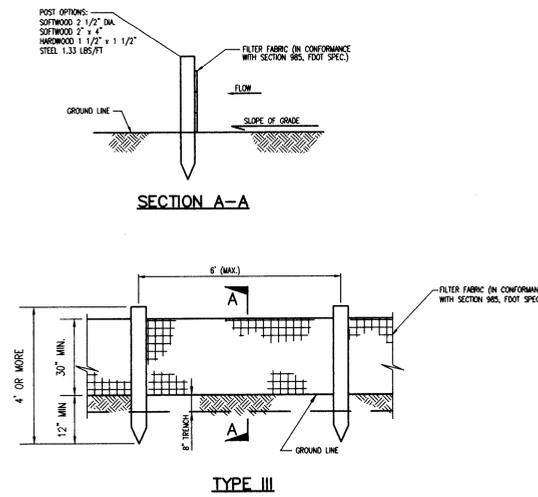
**UTILITY NOTES**

1. SEE MODULAR BUILDING PLANS FOR UTILITY EXTENSIONS (WATER, SEWER, ELECTRIC) INTO BUILDING.
2. OWNER SHALL REQUEST FROM TALQUIN ELECTRIC COOPERATIVE WATER AND SEWER SERVICE TO THE PROPOSED BUILDING. TALQUIN WILL PREPARE A COST ESTIMATE TO PROVIDE SERVICES. AND OWNER WILL PAY COSTS AS NECESSARY. TALQUIN SHALL EXTEND UTILITY SERVICES TO THE SITE, AND PROVIDE WATER METER AND BACKFLOW PREVENTOR.
3. CONTRACTOR SHALL EXTEND WATER AND SEWER SERVICE TO LOCATIONS PROVIDED BY TALQUIN ELECTRIC COOPERATIVE. CONTRACTOR SHALL EXTEND ELECTRICAL SERVICE FROM EXISTING ELECTRICAL SOURCE TO PROPOSED ELECTRICAL PANEL.
4. ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS.

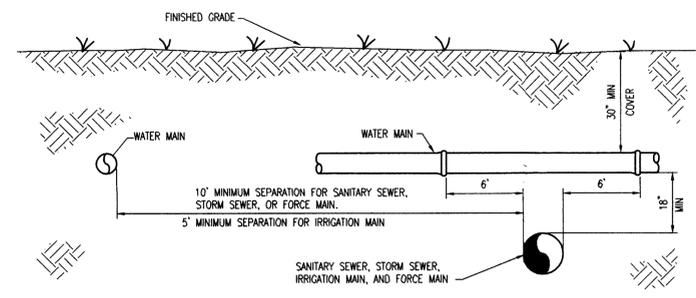
SEE SHEETS S1.0 FOR STRUCTURAL INFORMATION AND MODULAR BUILDING PLANS FOR ADDITIONAL INFORMATION



**GATE VALVE and BOX**  
NO SCALE

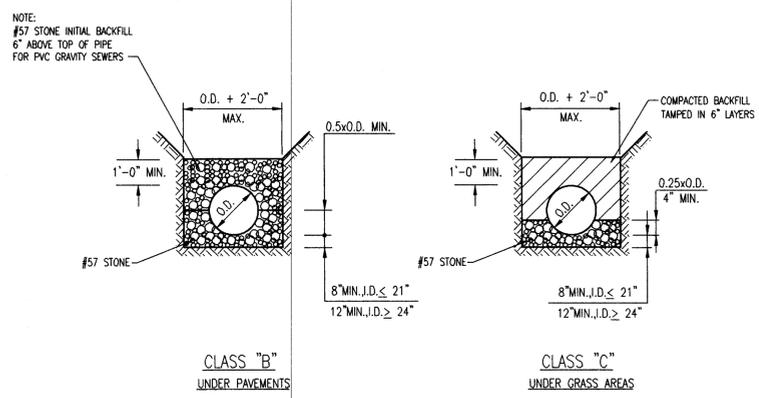


**SILT FENCE DETAIL (TYPE III MODIFIED)**  
NO SCALE

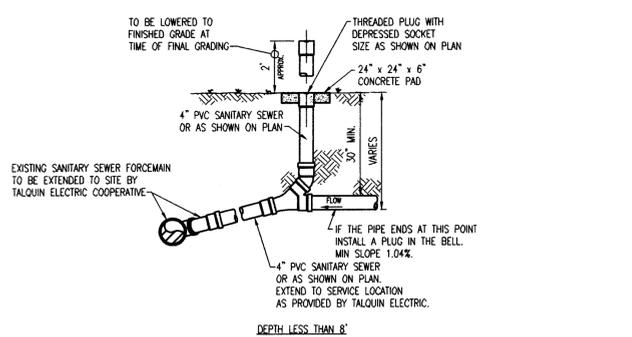


- NOTES:**
1. WATER MAINS SHALL BE SEPARATED FROM STORM SEWER, SANITARY SEWER, NON-POTABLE IRRIGATION MAINS, AND FORCE MAINS BY A MINIMUM CLEAR VERTICAL DISTANCE OF 18" MEASURED BETWEEN THE BOTTOM OF THE UPPER PIPE AND THE TOP OF THE LOWER PIPE. ALSO, WATER MAINS SHALL BE SEPARATED FROM STORM SEWER, SANITARY SEWER AND FORCE MAINS BY 10 FEET AND FROM IRRIGATION MAINS BY 5 FEET MEASURED HORIZONTALLY BETWEEN OUTSIDE OF PIPES.
  2. ALL CROSSINGS WITH VERTICAL CLEARANCE LESS THAN 18 INCHES SHALL BE MADE USING THICKNESS CLASS 200 AWWA C-900 DR14, PVC (CLASS 235 AWWA C-905, OR 18 PVC FOR PIPES GREATER THAN 12" IN DIAMETER) OR DUCTILE IRON, PRESSURE CLASS 250 PIPE FOR A HORIZONTAL DISTANCE OF 10 FEET EACH SIDE OF THE CROSSING, AND WATER MAIN SHALL BE CONCRETE ENCASED.
  3. 18 INCHES CLEAR DISTANCE SHALL NOT BE REDUCED IN CASES WHERE WATER MAIN CROSSES UNDER SEWER LINE.
  4. VERTICAL CLEARANCE LESS THAN 12 INCHES SHALL NOT BE ALLOWED.
  5. WATER MAINS, SANITARY SEWER, STORM SEWER, AND NON-POTABLE IRRIGATION MAINS SHALL BE IN SEPARATE TRENCHES.
  6. WATER MAINS CROSSING ANY TYPE OF SANITARY SEWER, INCLUDING FORCE MAIN OR STORM SEWER SHALL HAVE THE ONE FULL LENGTH OF WATER MAIN CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THAT THE WATER JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST 6 FEET FROM ALL JOINTS IN GRAVITY OR WASTEWATER FORCE MAINS, OR IRRIGATION MAINS.

**PIPE SEPARATION DETAIL**  
NO SCALE



**SEWER PIPE BEDDING AND HAUNCHING DETAILS**  
NO SCALE



**SANITARY SEWER CLEANOUT DETAIL**  
NO SCALE



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**SITE NOTES AND DETAILS**

**C1.2**